



THE LONDON BOROUGH
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DATE: 10 April 2024

To: Members of the
PLANS SUB-COMMITTEE NO. 3

Councillor Jonathan Andrews (Chairman)
Councillor Tony Owen (Vice-Chairman)
Councillors Dr Sunil Gupta FRCP FRCPath, Christine Harris, Alisa Igoe, Julie Ireland,
Alexa Michael, Shaun Slator and Mark Smith

A meeting of the Plans Sub-Committee No. 3 will be held at Bromley Civic Centre,
Stockwell Close, Bromley, BR1 3UH on **THURSDAY 18 APRIL 2024 AT 7.00 PM**

TASNIM SHAWKAT
Director of Corporate Services & Governance

Members of the public can speak at Plans Sub-Committee meetings on planning reports,
contravention reports or tree preservation orders. To do so, you must have

- already written to the Council expressing your view on the particular matter, and
- indicated your wish to speak by contacting the Democratic Services team by no later than 10.00am on the working day before the date of the meeting.

These public contributions will be at the discretion of the Chairman. They will normally be limited to two speakers per proposal (one for and one against), each with three minutes to put their view across.

To register to speak please telephone Democratic Services on 020 8461 7588

If you have further enquiries or need further information on the content of any of the applications being considered at this meeting, please contact our Planning Division on 020 8313 4956 or e-mail planning@bromley.gov.uk

Information on the outline decisions taken will usually be available on our website (see below) within a day of the meeting.

Copies of the documents referred to below can be obtained from
<http://cds.bromley.gov.uk/>

A G E N D A

- 1 **APOLOGIES FOR ABSENCE AND NOTIFICATION OF SUBSTITUTE MEMBERS**
- 2 **DECLARATIONS OF INTEREST**
- 3 **CONFIRMATION OF MINUTES OF MEETING HELD ON 22ND FEBRUARY 2024**
(Pages 1 - 6)
- 4 **PLANNING APPLICATIONS**

| No. | Ward | Page No. | Application Number and Address |
|-----|---------------------------|----------|---|
| 4.1 | St Paul's Cray | 7 - 22 | (23/03825/FULL2) - 32A Clarendon Way, Chislehurst, BR7 6RF |
| 4.2 | Shortlands & Park Langley | 23 - 34 | (24/00142/FULL1) - South Hill Wood Recreation Ground, Tootswood Road, Shortlands, Bromley |
| 4.3 | Bromley Common & Holwood | 35 - 48 | (24/00343/FULL1) London Borough of Bromley, Waldo Road, Bromley, BR1 2QX. |
| 4.4 | Hayes & Coney Hall | 49 - 66 | (24/00512/FULL6) - The Bungalow, Hayes Mead Road, Bromley, BR2 7HR |

5 **CONTRAVENTIONS AND OTHER ISSUES**

NO REPORTS

6 **TREE PRESERVATION ORDERS**

NO REPORTS

The Council's [Local Planning Protocol and Code of Conduct](#) (Chapter 7, Section 30, Page 19) sets out how planning applications are dealt with in Bromley.

PLANS SUB-COMMITTEE NO. 3

Minutes of the meeting held at 7.00 pm on 22 February 2024

Present:

Councillor Jonathan Andrews (Chairman)
Councillor Tony Owen (Vice-Chairman)
Councillors Dr Sunil Gupta FRCP FRCPATH, Christine Harris,
Alisa Igoe, Julie Ireland, Alexa Michael, Shaun Slator and
Mark Smith

Also Present:

Councillors Mark Brock and Pauline Tunnicliffe

25 APOLOGIES FOR ABSENCE AND NOTIFICATION OF SUBSTITUTE MEMBERS

There were no apologies for absence received.

26 DECLARATIONS OF INTEREST

There were no Declarations of Interest.

27 CONFIRMATION OF MINUTES OF MEETING HELD ON 21ST DECEMBER 2023

The Minutes of the meeting held on 21st December 2023 were confirmed and signed as a correct record.

28 PLANNING APPLICATIONS

28.1 ORPINGTON

(22/04947/ELUD) - 243 Court Road, Orpington, BR6 9BY

The Committee heard a presentation from Planning in which they were informed this was a retrospective application for a Lawful Development Certificate for a change of use of a C3(a) dwellinghouse to a C3(b) dwellinghouse.

This application had previously been considered at the Plans 3 Sub-Committee meetings held on 26

October and 21 December 2023. On both occasions the application was deferred in order for the Applicant to provide further details and documentary evidence deemed necessary in order for Members to further consider the application.

Members heard that the Applicant had now provided further information, as detailed on page 10 of the Report, and circulated to Members as a separate, confidential document as it contained sensitive and personal information. This enabled Members to look through the details provided prior to the meeting.

Since the Report/Agenda was published two further documents had been provided, also circulated to Members. E-mails from a local resident in objection to the application had also been received and circulated to Members.

Planning Officers felt that based on the documentary evidence provided and all the information available, their recommendation remained for the Lawful Development Certificate to be granted.

The Council's Legal Representative at the meeting informed Members that when considering applications for a Certificate of Lawfulness, the focus should be on the lawfulness (in the existing use). The change of use between the sub- categories within C3 use (C3(a) to C3(b)) does not comprise a material change of use of the building. The Town and Planning Act 1990(as amended) allows any person who may wish to apply to the Local Planning Authority to ascertain whether any existing use of the building or land is lawful. The relevant Act allows for retrospective applications to be considered.

The onus is on the Applicant to provide relevant clear and true supporting evidence. Members would need to consider the lawfulness of the application. The burden of proof is on a balance of probabilities (not beyond reasonable doubt as in a criminal standard) to decide whether the application is lawful. Members were reminded of the cost implications in the event of an appeal. Concerns which do not relate to planning should be directed to relevant departments and organisations.

An oral representation in objection to the application was then received from a local resident, representing

the views of neighbours and local residents. Full details of the concerns raised were included in e-mails circulated to Members prior to the meeting, and also detailed on pages 13-14 of the Report.

The speaker on behalf of the residents informed Members of the view that more work/investigation could have been undertaken by the Planning Team in advance of the application being put in front of the Committee. Concerns were also raised regarding the suitability of the Applicant as a business owner, the failure to provide adequate information/documentation as requested and of the care provided to residents at the property. There were also concerns raised regarding conflicts of interest with Bromley Council services, data breaches at the property and general anti-social behaviour by residents at the property.

An oral representation in support of the application was then given by the Applicant, who is also the Landlord of the property. The Committee heard the Applicant's view that she was still seeking a Certificate of Lawful Development and that there had been a lot of other issues and concerns raised that were unrelated to the application. Members were asked to focus on the lawfulness of the application.

In response to Members' questions, the Applicant confirmed that the property can only have a maximum of three residents, due to the size of the property/rooms. The units are quite small and homely and there are no plans to extend. There is only one resident currently at the property. Some residents have to return to hospital for various reasons and then have a phased return to the property. The Applicant also confirmed that she owns other businesses.

A Committee Member raised the question of the documentation provided and in particular the creation date of the documents. In response, the Applicant stated that her Administration Staff had sent her the information and she had sent it into the Planning Team. Responding to a question regarding the request for copies of original signed documentation, the Applicant informed Members that it was sometimes hard to obtain signatures from residents due to their various mental health issues, and that documents may not be signed at the correct times. A further query was raised by a Member in regard to being unable to match details previously provided by

the Agent to the information recently received.

Visiting Ward Member, Councillor Tunnicliffe, then gave an oral representation regarding the application in which she informed Members that instead of gaining clarity at this meeting there was still a lot of confusion surrounding this application. It was felt that full information had still not been provided, there were reservations still held regarding the care provided at the property, together with support for the local residents' concerns.

During discussions several Members expressed and shared the view that although documentation had been requested from the Applicant on more than one occasion and with plenty of time to provide it, the Applicant had still not provided clear and precise proof to confirm that the change of use of the property had already occurred at the time of the application.

In response to Members' concerns, Planning Officers expressed their view that they felt they did not have sufficient evidence to prove that the property was not in use as a C3(b) dwellinghouse at the time of the application. In response, Members again questioned whether the supporting proof provided was sufficiently precise to accept and approve the application.

Members having considered the Report, objections and representations **RESOLVED** that the **EXISTING USE/DEVELOPMENT IS NOT LAWFUL** for the following reason:

The Council considers that the information provided is not sufficiently precise, and therefore on the balance of probabilities it cannot be satisfied that the use was in operation under Class C3(b) – Dwellinghouses – of Schedule 1 of the Town and Country Planning (Use Classes) Order 1987 (as amended) on the date of the submission of the application.

**28.2
KELSEY & EDEN PARK**

**(23/04018/ADV) - Bandstand, Croydon Road
Recreation Ground, Beckenham, BR3 3PR**

Members heard a presentation from Planning explaining that the application was for advertisement consent to display a plaque/panel on a stainless steel lectern. The plaque will accompany the restoration

works to the Croydon Road Recreation Ground Grade II listed Bandstand, the provision of which is a stipulation of the grant conditions of the Heritage of London Trust, one of the funders of the project.

Members felt there were no objections to the application and were in agreement with the recommendation to approve the application.

Members having considered the Report and presentation **RESOLVED** that **ADVERTISEMENT CONSENT BE GRANTED** subject to the conditions outlined in the Report.

**28.3
WEST WICKHAM**

(23/04247/FULL2) Car Park, High Street, West Wickham.

In a presentation given by Planning, Members heard that the application was for the change of use of 14 public car parking spaces/bays in a car park off West Wickham High Street to be used as space for a car wash, including a container for storage and a staff office. It came before the Committee as it is Council owned land.

A similar application had previously been refused (as per page 36 of the Report), and this current application seeks to address the concerns previously raised regarding noise and other environmental impacts, together with the impact of the loss of car parking spaces and on highways safety. As explained in detail within the Report, Planners did not feel that the details provided satisfactorily addressed the previous grounds for refusal, and therefore recommended refusal of the application.

An oral representation in objection to the application was received from a local resident. Members were informed of residents' concerns, supported by the fact that there had been over 200 objections received for this application, clearly showing the strength of opposition to the plans.

Concerns over the plans included the proximity of the car wash facility to neighbouring residents with the impact of noise etc. The loss of existing parking, including disabled bays, was considered unacceptable, and would discourage visitors to the high street, thereby impacting on the local economy.

The site's narrow entrance and exit, the increase in traffic flow and potential queuing were also put forward as concerns.

Visiting Ward Member, Councillor Brock, then gave an oral presentation in which he confirmed his support for the Officers' recommendation for refusal. Councillor Brock highlighted that residents' concerns had been fully covered and clearly explained within pages 38-40 of the Report, and that the Applicants had not provided adequate information to address the concerns re noise impact/disturbance, or the impact on the loss of parking spaces. Drainage concerns, the loss of some disabled parking bays, the narrow access/exit point and subsequent effect on traffic and pedestrians were all mentioned. Members noted that there had already been the loss of one car park in the high street, and this car park was used regularly and often very busy.

During discussions, Members confirmed that they agreed with the objections raised and that this was not a suitable location for a car wash facility.

Members having considered the Report, objections and representations **RESOLVED** that the **APPLICATION BE REFUSED**, subject to the refusal grounds outlined in the Report.

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CONTRAVENTIONS AND OTHER ISSUES

NO REPORTS

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TREE PRESERVATION ORDERS

NO REPORTS

The Meeting ended at 8.34 pm

Chairman

| | | |
|---|---|--|
| Committee Date | 18.04.24 | |
| Address | 32A Clarendon Way Chislehurst BR7 6RF | |
| Application Number | 23/03825/FULL2 | Officer - Jennie Harrison |
| Ward | St Paul's Cray | |
| Proposal | Change of use of a single dwelling house (C3a) to residential care home (C2) as a children care home. | |
| Applicant | Agent | |
| Ms Kehinde Adenola | | |
| Bithoms Support Services Ltd 32 A Clarendon Way Chislehurst Bromley BR7 6RF | | |
| Reason for referral to committee | Councillor call in | Councillor call in Yes – Cllr Price called in due to the appropriateness of change of use and PTAL |

| | |
|-----------------------|-----------|
| RECOMMENDATION | Permitted |
|-----------------------|-----------|

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| <p>KEY DESIGNATIONS</p> <p>Article 4 Direction Area of Special Residential Character Biggin Hill Safeguarding Area London City Airport Safeguarding Smoke Control SCA 17</p> |
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| | | |
|-------------------------------|---|----|
| Representation summary | Letters to neighbours were sent out on the 21.08.2023 | |
| Total number of responses | | 84 |
| Number in support | | 0 |
| Number of objections | | 84 |

1. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The proposal would help to address the need for children’s care home spaces in the Borough.
- There would be no significant increase in trip generation.
- No significant alterations would be made to the existing property.
- The outward appearance would be of a single dwelling and would therefore have no significant impact on the Area of Special Residential Character.
- The conversion of the garage would have no significant detrimental impact on character and appearance nor neighbouring amenity.

2. LOCATION

- 2.1. The site hosts a two storey detached dwelling on the Southern side of Clarendon Way, Chislehurst. The property lies within Marlings Park Estate Area of Special Residential Character (ASRC).

Figure 1: Location Plan



3. PROPOSAL

- 3.1. Planning permission is sought to convert an existing C3 dwelling into a C2 children's care home. The provided statement details that there would be no more than 3 children between the ages of 8 and 16.
- 3.2. The statement also details that the home will be registered with OFSTED under 'Emotional and Behavioural Difficulties'.
- 3.3. It goes on to state that there would be three staff members on site at any given time, comprising of two overnight with an additional manager on site Monday – Friday between the house of 09:30 and 17:00, stating that changeovers of staff will be kept to a minimum to reduce traffic.

Figure 2: Existing ground floor plan

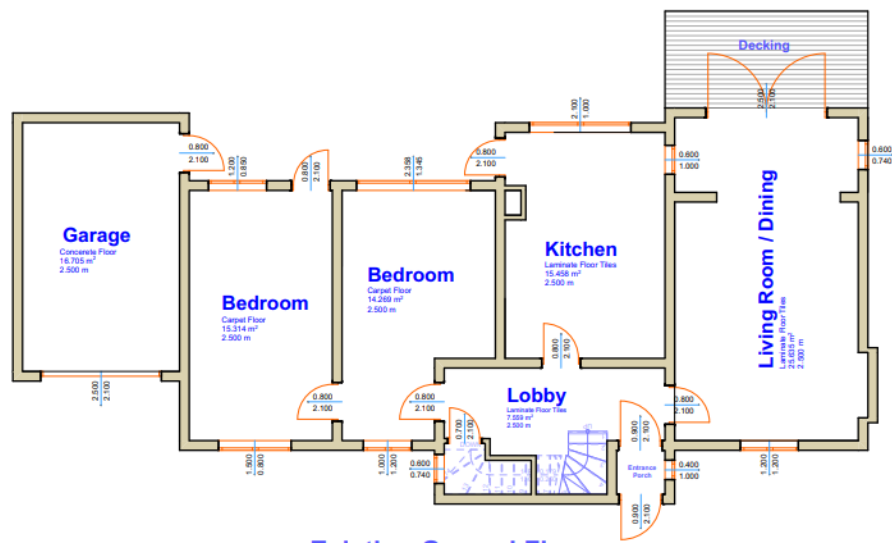


Figure 2: Proposed ground floor plan

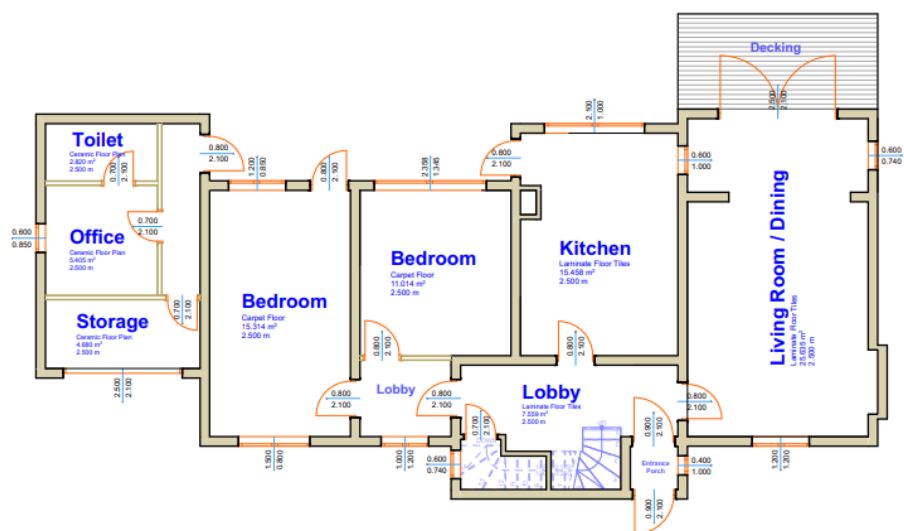


Figure 3: Existing and proposed first floor plan (no change)

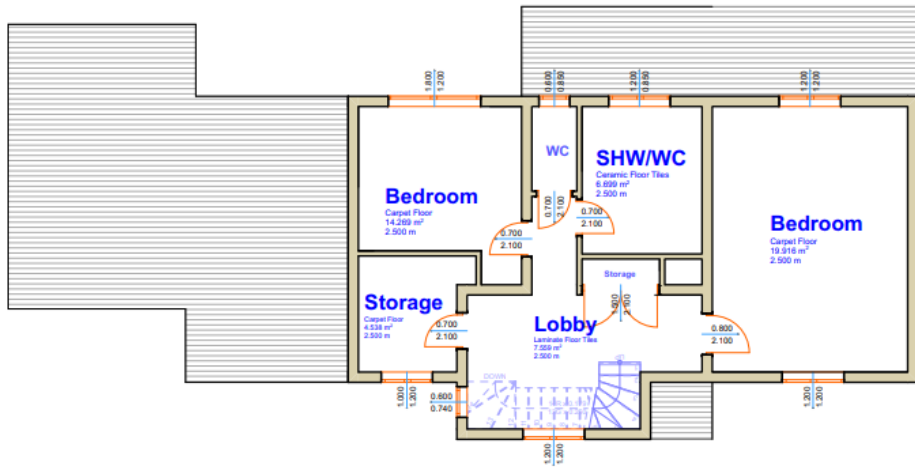


Figure 4: Existing and proposed front elevation (no change)

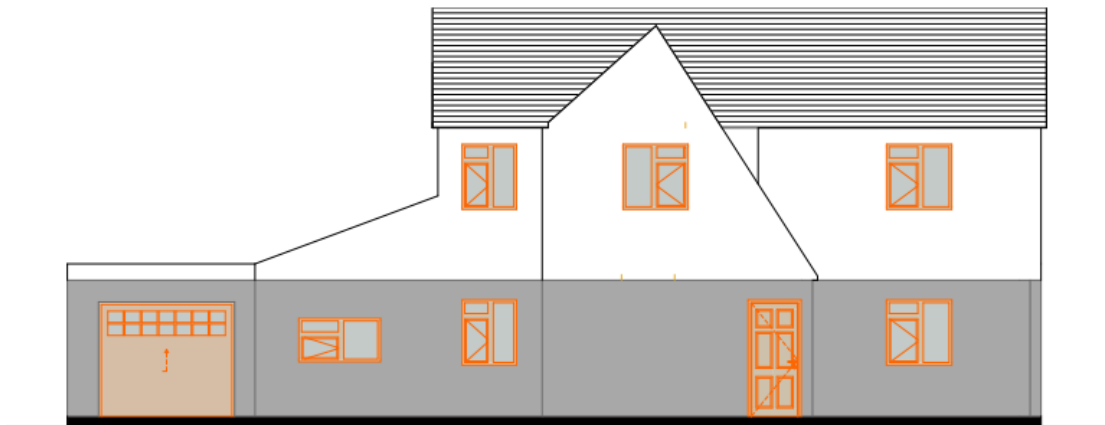
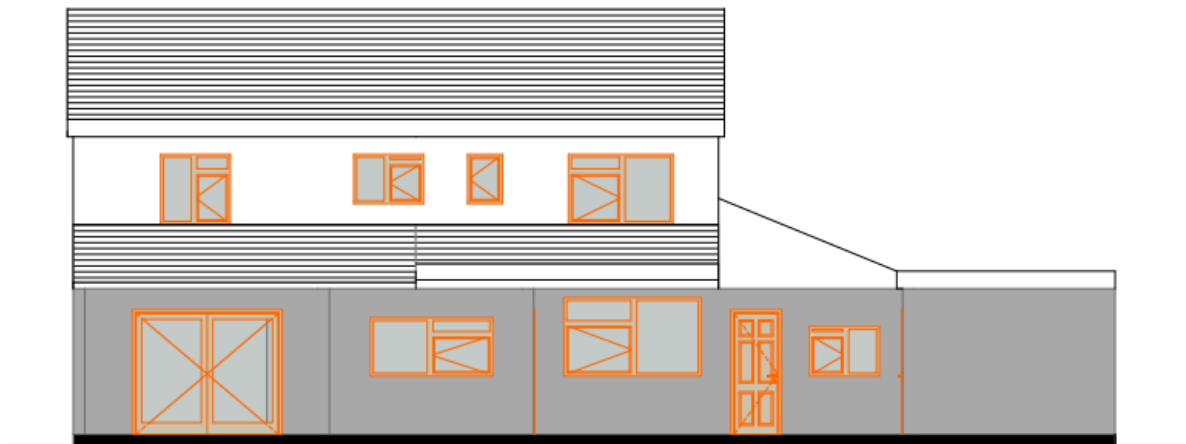


Figure 5: Existing and proposed rear elevation (no change)



4. RELEVANT PLANNING HISTORY

- 4.1. The relevant planning history relating to the application site can be summarised as follows:
- 4.2. 17/00565/FULL6 - Two storey front extension , part one/two storey side and single storey rear extensions with associated elevational alterations – Refused
- 4.3. 17/02492/FULL6 - Proposed two storey front, side and rear extension and single storey side extension and elevational alterations including the insertion of windows – Permitted
- 4.4. 18/00649/FULL6 - Two storey front, side and rear extension and single storey side extension and elevational alterations including the insertion of windows (amendment to approved ref 17/02492/FULL6 to include a single storey front extension, increase in ridge height, 3 dormers to rear and elevational alterations) – Permitted
- 4.5. 18/02445/FULL6 - Two storey front extension, two storey rear extension, loft conversion to include rear dormers, double glazed curtain wall to front elevation and proposed front boundary wall and piers to be built in wrought iron, and double vehicular access gates to a maximum height of 1750mm – Permitted
- 4.6. 23/02715/PLUD - Change of use of a single dwelling house (C3a) to residential care home (C3b) as a children care home The property is intended to be a children residential home for young people between the age of 8-16 (Lawful Development Certificate Proposed) – Proposed use/development is not lawful

5. CONSULTATION SUMMARY

A) Statutory

Children's Services: Property is within half a mile of St Mary's Cray – Bromley should actively be encouraging applications from providers within the residential care sector given the level of need for placements

Designing out crime: No objection

Highways: The Planning Statement indicates that the property will be for up to 3 young people between the ages of 8 – 16. There will be 2 members of staff on site with a Manager during the working week. There are 4 bedrooms indicated. The garage is shown as being converted.

The site has a low (1b) PTAL so the majority of trips are likely to be by car. I note a number of objections refer to the traffic and parking issues likely to arise. Looking at the information supplied, the main parking impact would be during the change over time for the staff when there could be 5 cars present or a visitor during the day when there would

be 4 cars. There is parking for 2 cars on the frontage of the property. It may be helpful to increase the parking to 3 spaces so parking can be accommodated on site for most of the time.

There is some current on-street parking on Clarendon Way and there is a flank wall adjacent to the property where on-street parking is unlikely to cause any issues.

Trip generation is likely to be slightly higher than from a house of a similar size but not significantly so.

An additional parking space would reduce any impact on the highway but, based on the information with the application, there is unlikely to be a such a significant impact on the highway to sustain a ground of refusal.

It may also be helpful to condition the number of staff and children on site at any one time.

B) Local Groups

None were received.

C) Adjoining Occupiers

Highways (addressed in paragraphs 7.1.5 & 7.6)

- Increased noise, traffic and disturbances
- Traffic is busy on the road at all times of day
- There have been serious car accidents on the road
- Increase in pollution
- Parking outside the property would be unsafe
- Conversion of the garage only allows for 1 onsite parking space

Appropriateness of the site (addressed in paragraphs 7.3)

- Restrictive covenant on the building – cannot be run as a business
- Location is not suitable for such a facility
- Doesn't comply with London Plan policy S3 & S4
- Lack of suitable internal playspace
- Transport connections in the area are bad
- Very little outside space in the front and rear gardens
- There are no local community activities or opportunities for social integration
- Turning a property that is too small into a children's care home is not conducive to maintaining ASRC
- Property is unsuitable for the use
- Previous criminal activity means property would not be safe for children
- The property would not meet the requirements of Policy 11
- Property is not close to any amenities
- Internal layout does not look suitable to house 2 carers and 3 children
- Not enough bedrooms
- Inappropriate location and accommodation

- House cannot support such a wide age range
- The Council should explore alternatives for the welfare of the children
- There are no local activities for children to partake in

Character of the area (addressed in paragraphs 7.4)

- Inappropriate in this area
- Will ruin the residential area
- Alter the character of the neighbourhood
- Would alter the residential character of the area
- Would have a detrimental impact on ASRC
- Use is not in keeping with the ASRC

Neighbouring amenity (addressed in paragraphs 7.5)

- Essential to preserve the peaceful and family-orientated community
- Disruption will have negative impact on neighbours
- Concern around anti social behaviour
- Property and plot size is insufficient
- Concerns about community safety
- There should be safeguarding in place for existing residents
- Increased noise and disturbance from the property
- Potential for an increase in crime
- Antisocial behaviour will have a negative impact on residents wellbeing
- CCTV will be required for such a property and privacy will be impacted

Other matters (addressed in paragraphs 7.3 & 7.5)

- Decrease in property values
- The council should assess alternative locations
- Previous illegal activity
- Care home on Marlings Park was shut down because it caused trouble
- Potential risk associated with children with behavioural issues
- Negative impact on mental health of neighbours
- Bithoms is not Ofsted registered or CQC audited
- Unreputable company proposed to run the care home
- Possible fraudulent information given about Bithoms
- Implication that the landlord or company are involved in an illegal financial arrangement
- No records available for any other sites to suggest it is satisfactory and genuine company providing children services
- Inaccuracies in submission relating to dates of work started
- Bithoms do not have the required accreditation to run a care home
- The Council has a duty of care when housing vulnerable children
- Deliberately vague information submitted
- Drug problems in the wider areas

- Bithoms is not credible
- Landlord has questionable integrity
- Planning statement is not representative of the real situation
- Previous crimes such as burglary were attributed to the property on Marlings Park
- Neighbours were not notified
- Concern that the application is to hide criminal activity
- The houses along Clarendon Way should remain as homes and not businesses

6. POLICIES AND GUIDANCE

National Planning Policy Framework 2023

NPPG

The London Plan

- D1 London's form, character and capacity for growth
- D2 Delivering good design
- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- D8 Public realm
- D11 Safety, securing and resilience to emergency
- D12 Fire safety
- D13 Agent of Change
- D14 Noise
- H1 Increasing housing supply
- H12 Supported and specialised accommodation
- H13 Specialist older persons housing
- S1 Developing London's social infrastructure
- G5 Urban greening
- G6 Biodiversity and access to nature
- SI 1 Improving air quality
- SI 2 Minimising greenhouse gas emissions
- SI 3 Energy infrastructure
- SI 8 Waste capacity and net waste self-sufficiency
- SI 13 Sustainable drainage
- T2 Healthy Streets
- T3 Transport capacity, connectivity and safeguarding
- T4 Accessing and mitigating transport impacts
- T5 Cycling
- T6 Car parking
- T7 Deliveries, servicing and construction

Bromley Local Plan 2019

- 11 Specialist and Older Peoples Accommodation
- 20 Community Facilities
- 22 Social Infrastructure in New Developments
- 26 Health and Wellbeing
- 30 Parking
- 31 Relieving congestion
- 32 Road Safety
- 33 Access for All
- 37 General Design of Development
- 44 Areas of Special Residential Character
- 77 Landscape Quality and Character
- 79 Biodiversity and Access to Nature
- 83 Non-Designated Employment Land
- 119 Noise Pollution
- 120 Air Quality
- 123 Sustainable Design and Construction

Bromley Supplementary Guidance

- Urban Design Supplementary Planning Document (July 2023)

7. ASSESSMENT

7.1. Principle and location of development – Acceptable

- 7.1.1. Housing is a priority use for all London Boroughs. London Plan Policies H1, H2, H10, D3, D4 and D7 generally encourage the provision of redevelopment in previously developed residential areas provided that it is designed to complement the character of surrounding developments, the design and layout make suitable residential accommodation, and it provides for garden and amenity space.
- 7.1.2. Paragraph 64 of the NPPF also encourages the effective use of land by reusing land that has been previously developed (brownfield land) and excludes gardens from the definition of previously developed land.
- 7.1.3. This proposal is for the reuse of an existing building C3 dwellinghouse as a C2 residential care home and as such it is not for new C3 dwellinghouses and it moreover comprises a form of specialist accommodation where Local Plan Policy 11 and London Plan Policy H12 apply. Local Plan Policy 11 states that the Council supports the provision of specialist housing across all tenures, where they are conveniently located for a range of local shops, services and public transport, appropriate to the mobility of the residents, and they provide appropriate parking and suitably landscaped amenity space.
- 7.1.4. As set out in the planning statement the proposal would accommodate up to 3 children thereby contributing towards the supply of care home housing spaces as this would help to address the need for children's care home spaces within the

Borough. Although the site lies in an area with a lower 1b PTAL rating it is a 15 minute walk from St Mary Cray station, including the small shopping parade there. It is also noted that the adjacent road, Leasons Hill is served by the 273, 661 and R1 buses. Given that it would be a residential care home where its residents are less likely to be travelling to and from the site on a daily basis as compared with a non-residential care facility, it is not envisaged that there would be significant trip generation. Overall, there is no objection to the principle of locating this proposal in this location.

7.1.5. It is understood that the development/use would be subject to OFSTED registration, a rigorous process, where matters including the site management and security measures and resident/staff ratio would be assessed.

7.2. Standard of residential accommodation – Acceptable

7.2.1. Bromley Local Plan Policy 4 and London Plan Policies D6 and D7 relate to 'Housing quality and standards', although this is for new building or conversions for C3 dwellinghouses and this does not strictly relate to other forms of residential development such as this C2 care home. Nonetheless, the proposal would provide bedrooms and general living accommodation in line with the internal space GIA and dimensions for bedrooms within the relevant C3 space standards, the rooms would have a suitable level of outlook; indicating that the proposal would provide an overall satisfactory standard and condition of living for the residents. The outbuilding to be used as staff accommodation would also be suitable for this purpose.

7.2.2. The site has a small rear garden with a patio area, this is considered to be sufficient to provide private outdoor amenity space.

7.3. Design and landscaping – Acceptable

7.3.1. Design is a key consideration in the planning process. Good design is an important aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.

7.3.2. NPPF paragraph 126 states that the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

7.3.3. NPPF paragraph 130 requires Local Planning Authorities to ensure that developments will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; are visually attractive as a result of good architecture, layout and appropriate and effective landscaping and are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities). New development shall also establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and

distinctive places to live, work and visit; optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

- 7.3.4. London Plan and Bromley Local Plan policies further reinforce the principles of the NPPF setting out a clear rationale for high quality design.
- 7.3.5. The proposal would re-use an existing building, with no changes to the external façade, there would be a conversion of a garage however the garage door would remain in place. It would mostly retain the existing floor layout, with some slight alteration marginally increasing the number of bedrooms, however given the nature of the development/use it would not significantly expand or intensify the occupancy and the general level of activity and character of the building would remain.
- 7.3.6. It would not require specific additional landscaping/planting, and this could be left to the Applicant's choice, although the retention of existing trees and vegetation would be encouraged as this would soften and enhance the use and as open space, landscaping and trees in particular are known to be beneficial to mental health and wellbeing. It is envisaged that some play space may be required for the children, including different areas/equipment for the corresponding age ranges, the Applicant is reminded that this may form part of the landscaping plan and/or any play equipment may itself comprise development requiring planning permission (and as a C2 care home would not have C3 dwellinghouse permitted development rights).
- 7.3.7. Comments received have raised concern with regard to the size of the front and rear garden, however it is considered that, on balance, the outdoor amenity area would not give sufficient reason to refuse the application.

7.4. Neighbouring amenity – Acceptable

- 7.4.1. Policies 4 and 37 of the Bromley Local Plan seek to protect existing residential occupiers from inappropriate development. Issues to consider are the impact of a development proposal upon neighbouring properties by way of overshadowing, loss of light, overbearing impact, overlooking, loss of privacy and general noise and disturbance.
- 7.4.2. As stated above, the proposal would re-use an existing building without enlargement or significant external alteration and as such it would not increase the building mass with potentially adverse effects on the amenities of neighbouring properties such as outlook or overshadowing effects. It would mostly retain the existing floor layout, with some slight alteration marginally increasing the number of bedrooms however given the nature of the development/use it would not significantly expand or intensify the occupancy and the general level of activity and character of the building would remain.

7.4.3. Comments have been received with regard to the increase in noise and the potential for anti-social behaviour, such as that which was experienced at a similar nearby property at number 51 Marlings Park Avenue, however given the level of occupancy being 3 children and 3 adults, the noise level would not be over and above that which would be expected by a family of 6 living in the property as a family unit, and as such, on balance it is considered that any additional harm would not be so significant as to warrant refusal of the application.

7.5. Highways – Acceptable

7.5.1. The NPPF recognises that transport policies have an important role to play in facilitating sustainable development but also in contributing to wider sustainability and health objectives. The NPPF clearly states that transport issues should be considered from the earliest stage of both plan making and when formulating development proposals and development should only be prevented or refused on transport grounds where the residual cumulative impacts of development are severe.

7.5.2. The NPPF states that all developments that will generate significant amounts of movement should be required to provide a travel plan, and the application should be supported by a transport statement or transport assessment so that the likely impacts of the proposal can be assessed.

7.5.3. London Plan and Bromley Local Plan Policies encourage sustainable transport modes whilst recognising the need for appropriate parking provision. Car parking standards within the London Plan and Bromley Local Plan should be used as a basis for assessment.

7.5.4. The application site lies in a residential area east of the Town Centre with a PTAL 1b rating (on a scale where 0 has the poorest access and 6b has the best access to public transport services) indicating that the application site and the proposed development would be more dependent upon private transport such as the car or bicycle than on public transport, and indicating a potentially higher demand for car ownership and vehicle parking than an area/development with better public transport accessibility.

7.5.5. Notwithstanding this, according to the application details and the intended operation of the site, the development is unlikely to generate significant additional vehicular traffic movements, with a limited additional impact on highway traffic flows or conditions locally. The proposal would be supported by adequate on-site car parking, with the loss of one small garage which is to be converted. The proposal would not in itself involve significant additional building works to the building, however there are likely to be some building works and construction/contractor traffic, and this should also be managed in the interest of highway safety and free flow of traffic. No technical objections were received from the Council's Highway Department.

8. CONCLUSION

- 8.1. The proposed development would provide a children's residential care home for up to 3 children of 8-16 of years old residential dwellings and this would contribute towards the supply of children's care housing within the Borough. This is considered a benefit of the scheme.
- 8.2. Having had regard to the above it is considered that the development in the manner proposed is acceptable in that it would not conflict with the principle and location of development, it would not involve the unacceptable loss of an existing dwelling, it would not impact detrimentally on the character of the area, it would not result in a significant loss of amenity to local residents or highway or parking impacts.
- 8.3. There are also no other adverse impacts of the scheme that are considered to significantly and demonstrably outweigh the economic, social and environmental benefits of the scheme when considering the objectives of the NPPF as a whole. Subject to compliance with the approved drawings and documents and implementation of the recommended works undertaken where necessary, it is considered that the application should be approved.
- 8.4. Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

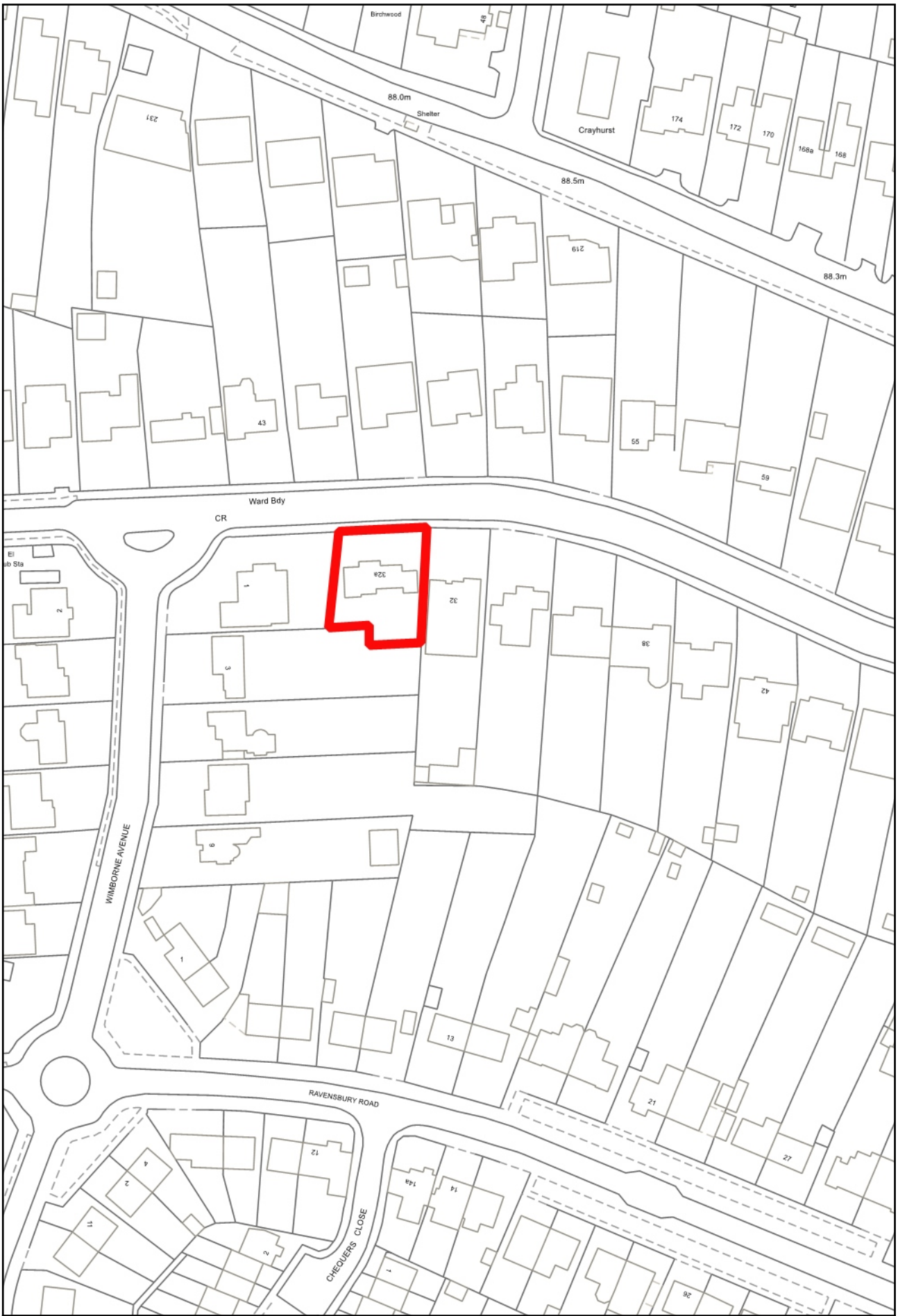
RECOMMENDATION: Application Permitted

Subject to the following conditions:


- 1. Standard time limit**
- 2. Standard compliance with plans**
- 3. Materials to match existing**
- 4. Limit number of occupants**
- 5. Limit age of occupants**
- 6. Limit use to C2**


And delegated authority be given to the Assistant Director: Planning & Building Control to make variations to the conditions and to add any other planning condition(s) as considered necessary

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23/03825/FULL2



10 April 2024

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Page 21

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| | | |
|--|--|--|
| Committee Date | 18.04.2024 | |
| Address | South Hill Wood Recreation Ground Tootswood Road Shortlands Bromley | |
| Application Number | 24/00142/FULL1 | Officer - Lawrence Stannard |
| Ward | Shortlands and Park Langley | |
| Proposal | Installation of a Sail covering half of an existing tennis court. | |
| Applicant | Agent | |
| Mr Jason Goatley | | |
| South Hill Wood Recreation Ground Tootswood Road Shortlands Bromley | | |
| Reason for referral to committee | Outside Delegated Powers | Councillor call in Yes - Cllr Bainbridge. The proposal is not in keeping with the area and not linked to tennis. |

| | |
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| RECOMMENDATION | Permission |
|-----------------------|------------|

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|---|
| <p>KEY DESIGNATIONS</p> <p>Biggin Hill Safeguarding Area London City Airport Safeguarding Local Green Space Sites of Interest for Nature Conservation Urban Open Space Smoke Control SCA 9</p> |
|---|

| | |
|-------------------------------|---|
| Representation summary | <ul style="list-style-type: none"> • Neighbour notification letters were sent on the 8th February 2024. • The site notice was displayed on the 9th February 2024. |
| Total number of responses | 51 |
| Number in support | 50 |
| Number of objections | 1 |

1 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The development would not result in a harmful impact on the character of the area or visual amenities of the streetscene appearance of the host dwelling.
- The development would not result in an unacceptable impact upon the amenities of neighbouring residential properties.
- The development would not result in an unacceptable impact upon the adjacent site of importance for nature conservation.

2 LOCATION

- 2.1 The application site forms the South Hill Wood Recreation Ground located on the southern side of Tootswood Road.
- 2.2 The application relates to the existing tennis courts.
- 2.3 The site lies within an area designated as Urban Open Space, and is enveloped by the South Hill Wood Site of Importance for Nature Conservation (though the tennis courts are not located within the SINC).



Figure 1: Site Location Plan

3 PROPOSAL

- 3.1 The application seeks permission for the installation of a sail canopy covering half of an existing tennis court.
- 3.2 The sail canopy would have a maximum height of 6.5m, reducing to 3m to its rear. It would be constructed with 5 galvanised steel posts, with the sail a white waterproof pvc material.
- 3.3 The development would cover 50% of one court and is intended to provide cover from adverse weather conditions, which would enable coaching to still go ahead.

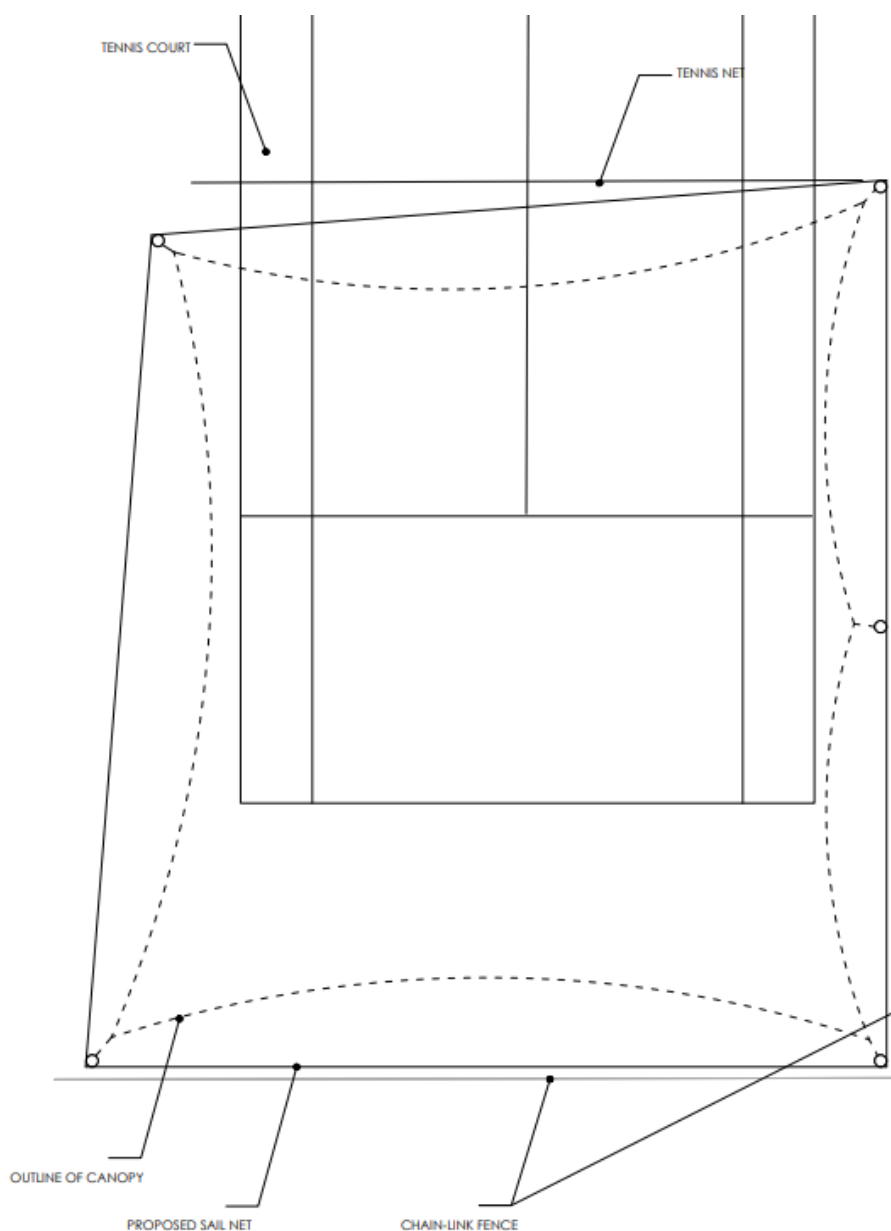


Figure 2: Proposed Layout Plan

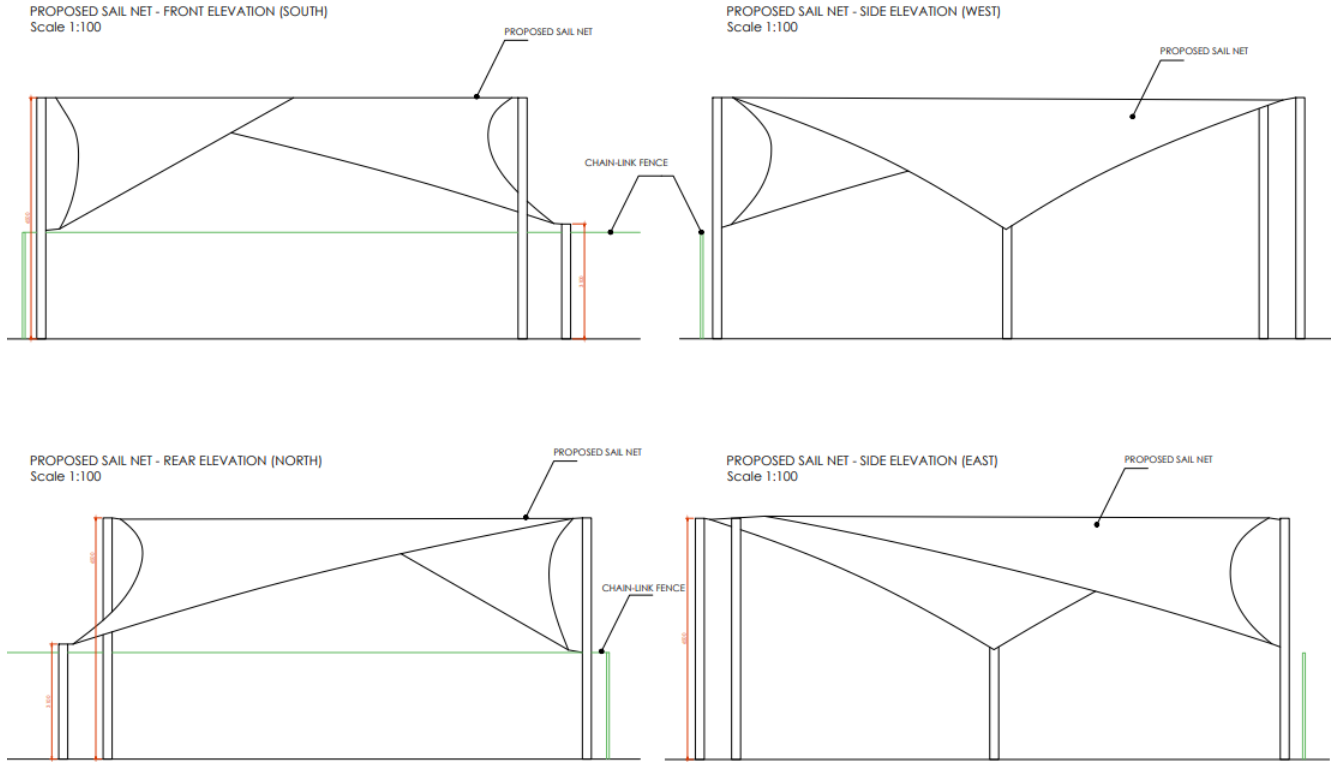


Figure 3: Proposed Elevations

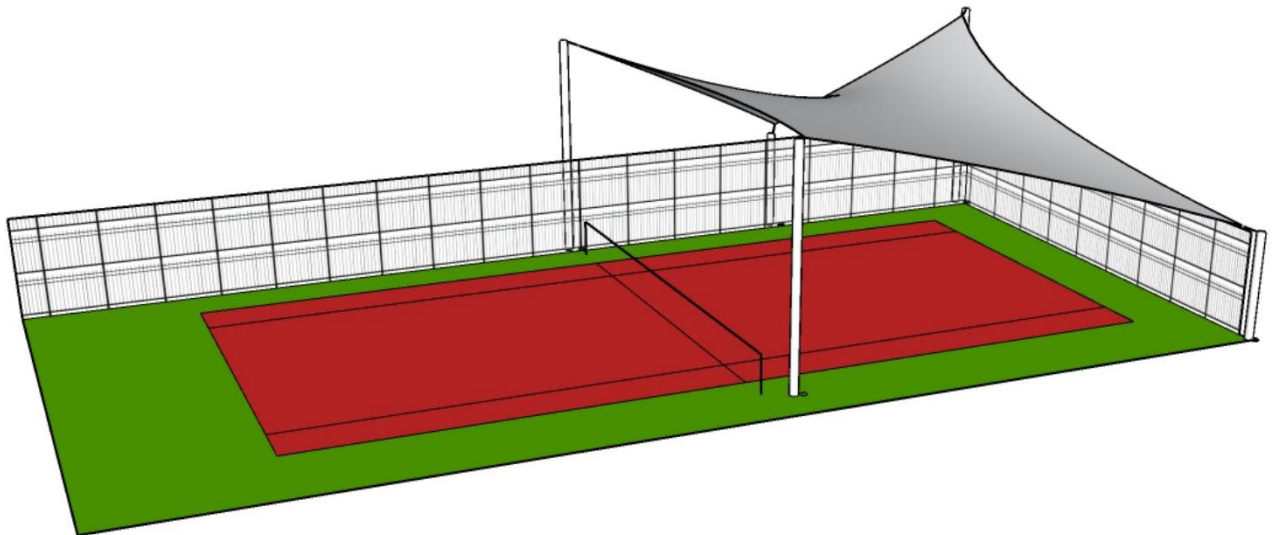


Figure 4: Proposed 3D Visual



Figure 5: Photo of existing site



Figure 6: Photo of Front Elevation

4 RELEVANT PLANNING HISTORY

4.1 The application site has the following relevant / recent planning history.

- 02/03014/FULL1 – 12 floodlighting columns to 3 existing tennis courts - Permitted
- 05/00824/FULL1 – Demolition of existing pavilion and other temporary
- 07/03982/FULL1 – Detached single storey building for bowls and tennis clubs - Permitted
- 10/01445/FULL1 – Single storey building for replacement storage facility - Permitted
- 17/05240/FULL1 – Demolition of existing shed and construction of replacement timber shed - Permitted

5 CONSULTATION SUMMARY

A) Statutory

Bromley Biodiversity Partnership:

- The Bromley Biodiversity Partnership Species & Habitats Sub-group /Orpington Field Club have no objections to the above proposal.

B) Local Groups

No Comments were received from local groups.

C) Adjoining Occupiers

The following comments were received from adjoining occupiers (summarised);

Objections

Design and Use (Addressed in Para 7.1)

- It would not be part of any type of normal tennis which is the sole stated purpose that planning exists for.
- Even if connected to tennis it would be strange.
- Concerns over real reasons for it (parties, discos or other social events).
- Would be very unsightly with the park background and South Hill Woods.

Support

- Fully support the application as a further attempt to enhance and improve community facilities.
- Bad weather disenfranchises so many youngsters for playing, so a simple sail would appear a significant improvement.
- Would also protect against direct sun rays and dangers to those with skin allergies.
- Would have minimal visual and environmental impact.
- Have been members for the tennis club for many years and it is frustrating when lessons are cancelled because of bad weather.
- Would benefit all players.
- Having people on tennis courts add extra layer of safety when walking in the woods / reduces anti-social behaviour

- Should support ideas which provide extra facilities for young people.
- Good for a small business and the community.
- Would encourage more people to engage with tennis.
- Proposal is quite modest.
- There is no intention of using it for any other purpose than playing tennis.
- Can see the court in winter from South Hill Road but have no objection to this.
- First introduced when our children attended after schools activities to Highfield Junior School, and these after school activities continue today.

6 POLICIES AND GUIDANCE

6.1 Section 70(2) of the Town and Country Planning Act 1990 (as amended) sets out that in considering and determining applications for planning permission the local planning authority must have regard to:-

- (a) the provisions of the development plan, so far as material to the application,
- (b) any local finance considerations, so far as material to the application, and
- (c) any other material considerations.

6.2 Section 38 (6) of the Planning and Compulsory Purchase Act (2004) makes it clear that any determination under the planning acts must be made in accordance with the development plan unless material considerations indicate otherwise.

6.3 The development plan for Bromley comprises the London Plan (March 2021) and the Bromley Local Plan (2019). The NPPF does not change the legal status of the development plan.

6.4 The application falls to be determined in accordance with the following policies:-

6.5 National Planning Policy Framework 2023

6.6 The London Plan (2021)

D1 London's Form and Characteristics
 D3 Optimising Site Potential Through the Design Led Approach
 D4 Delivering Good Design
 D5 Inclusive Design

6.7 Bromley Local Plan 2019

30 Parking
 37 General Design of Development
 55 Urban Open Space
 69 Development and Nature Conservation Sites
 123 Sustainable Design and Construction

6.8 Bromley Supplementary Guidance

Urban Design Supplementary Planning Document (July 2023)

7 ASSESSMENT

7.1 Design, Layout, Scale and Use – Acceptable

- 7.1.1 Design is a key consideration in the planning process. Good design is an important aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. London Plan and Bromley Local Plan (BLP) policies further reinforce the principles of the NPPF setting out a clear rationale for high quality design.
- 7.1.2 Policy 37 of the Bromley Local Plan (BLP) and the Council's Supplementary design guidance seek to ensure that new development are of a high quality design that respect the scale and form of the host dwelling and are compatible with surrounding development.
- 7.1.3 Policy 55 outlines that proposals for built development in Urban Open Space will be permitted only if the development is related to the existing or allocated use, or the development is small scale and supports the outdoor recreational uses.
- 7.1.4 The proposed development would consist of the introduction of a sail canopy over half on an existing tennis court. It is considered that this would be related to the existing use as it would allow for tennis coaching to be undertaken during adverse weather. It is also understood that the court would remain playable for general tennis, with the only limitation being balls lobbed higher than the sails maximum height. It is therefore considered the development would be related to the existing use and would support the outdoor recreational use of the tennis club.
- 7.1.5 In terms of the scale and design of the canopy, its maximum height of approx. 6.5m would introduce a relatively large structure. However, it would reduce in height to 3m (approx. the same as the existing fence) and its sail design would ensure that there would be views through the canopy from certain angles which would limit its visual impact, and the sides would remain open except for the supporting posts.
- 7.1.6 The siting of the sail canopy would also reduce its overall visual impact, with the siting to the south-eastern corner reducing its prominence when viewed from the street scene given its separation of approx. 17.5m to the closest footpath on Tootswood Road. This separation distance and the existing boundary treatments and surrounding vegetation would further reduce its overall visual impact.
- 7.1.7 The sail would appear visible from parts of the surrounding South Hill Wood and SINC, though it is not considered that it would appear as an overly prominent feature given the design and siting.
- 7.1.8 Having regard to the above, it is considered that the development would be acceptable in that the resulting scale would not appear overly excessive and the design of the development would not appear unduly harmful to the general character of the area and visual amenities of the street scene.

7.2 Residential Amenity – Acceptable

- 7.2.1 The proposed development would be sited in the south-eastern corner of the existing tennis courts, covering the half of the court further away from the residential properties on Tootswood Road.
- 7.2.2 In terms of visual impact on the neighbours directly facing the application site, the sail canopy would have a maximum height of 6.5m (just lower than the existing floodlights), with a minimum height of 3m. The sail canopy would therefore appear somewhat visually prominent given its maximum height, though its design would allow for some views through which would reduce its visual impact. Furthermore, the sail would be sited approx. 41m from the front elevation of the residential properties on the northern side of Tootswood Road and its impact would be further mitigated by the existing boundary fence and vegetation to the application site. It is therefore considered that the development would not result in any unacceptable level of loss of light, outlook or visual amenity to these neighbours.
- 7.2.3 There are other nearby neighbours located on South Hill Road to the south-east of the site, however the impact of the proposed sail canopy would be significant mitigated by the dense and mature vegetation which lies within the SINC and between the tennis courts and these residential properties. It is therefore considered the development would not detrimentally impact upon the amenities of these neighbours.
- 7.2.4 Having regard to the scale and design of the development and the separation distance to nearby residential properties it is considered that the development would not result in any unacceptable impact upon residential amenity.

7.3 Nature Conservation - Acceptable

- 7.3.1 Policy 69 outlines that a development proposal that may significantly affect the nature conservation interest or value of a SINC will be permitted only if it can be shown the benefits for the local community would outweigh the interest of value of the site, or any harm can be overcome by mitigating measures.
- 7.3.2 The proposed development would provide additional community benefits by enabling the tennis coaching to be undertaken in wet weather.
- 7.3.3 Furthermore, it is noted that the proposed sail canopy would be located within the confines of the existing tennis court and fence and would only be situated adjacent to the area designated as a SINC.
- 7.3.4 The Bromley Biodiversity Partnership have confirmed that they would not raise any concerns or objections regarding the proposed impact on the nature conservation of the surrounding area.
- 7.3.5 Having regard to the above, it is considered that the development would not result in any unacceptable impact upon nature conservation sites within the area.

8 CONCLUSION

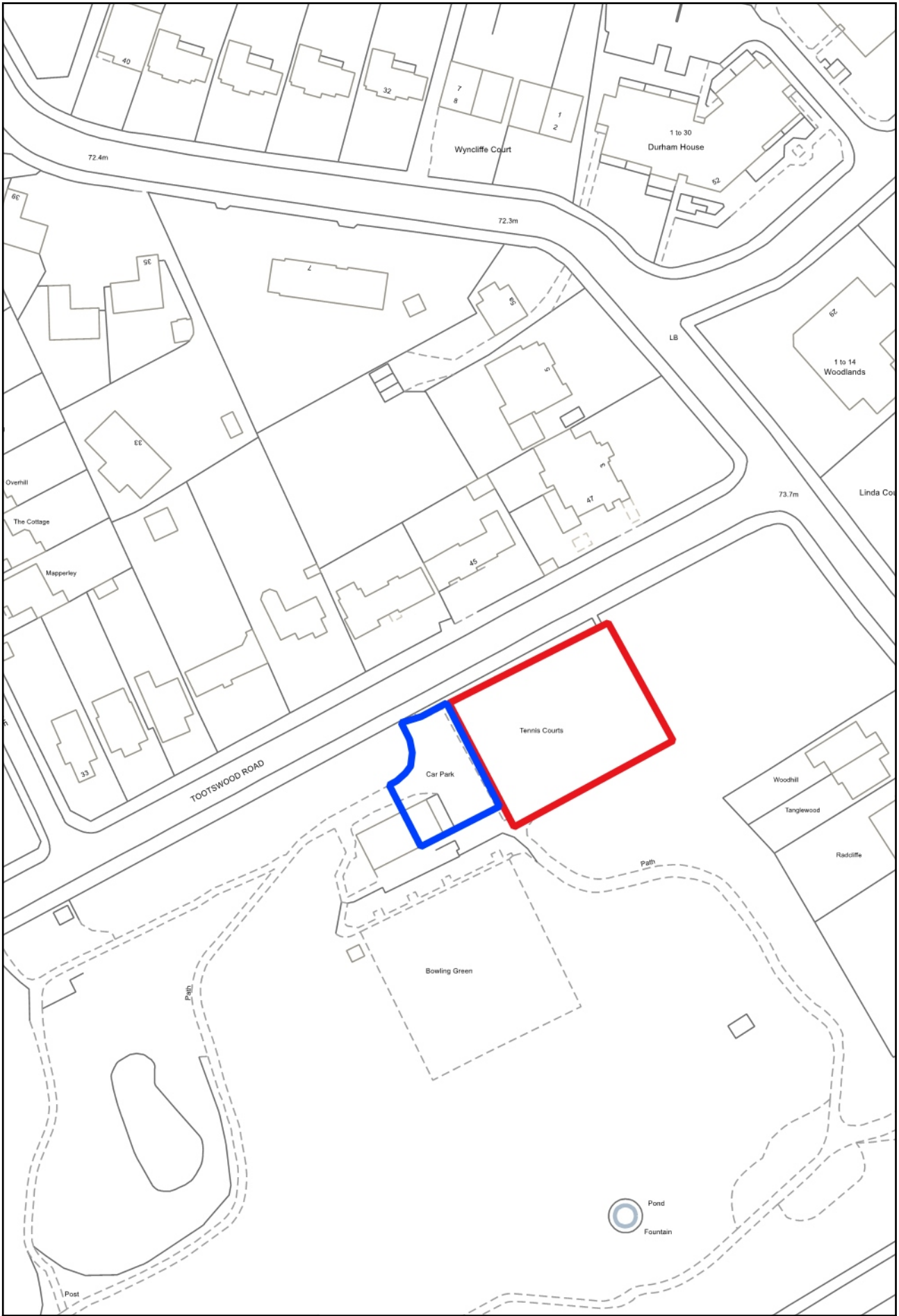
- 8.1 Having had regard to the above it is considered that the development in the manner proposed is acceptable as it would not harm the amenities of neighbouring properties or the character of the area in general.
- 8.2 Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

Recommendation: Application Permitted


Conditions

- 1. Standard time limit of 3 years**
- 2. Standard compliance with approved plans**
- 3. Materials in accordance with plans**

And delegated authority be given to the Assistant Director: Planning & Building Control to make variations to the conditions and to add any other planning condition(s) as considered necessary.



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 24/00142/FULL1
the council station on www.bramley.gov.uk



10 April 2024

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|---|---|-------------------------------------|
| Committee Date | 18.04.2024 | |
| Address | London Borough Of Bromley Waldo Road Bromley BR1 2QX | |
| Application Number | 24/00343/FULL1 | Officer - Susanna Stevenson |
| Ward | Bromley Common And Holwood | |
| Proposal | Installation of 2 no. below ground weighbridges and associated kiosk. | |
| Applicant | Agent | |
| London Borough of Bromley Estates Department | Mr Simon McKee | |
| Bromley Civic Centre Bromley BR1 3UH | Springfield Farm Quarry Broad Lane Beaconsfield HP9 1XD | |
| Reason for referral to committee | Outside delegated powers (Council site) | Councillor call in No |

| | |
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| RECOMMENDATION | PERMISSION |
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|--|
| <p>KEY DESIGNATIONS</p> <p>Area of Deficiency in Access to Nature Article 4 Direction Flood Zone 2 Flood Zone 3 Gas Holder Stations Historic Landfill Sites Ravensbourne Variations Renewal Area Smoke Control SCA 13</p> |
|--|

| Land use Details | | |
|-------------------------|--|-----------------------|
| | Use Class or Use description | Floor space (GIA SQM) |
| Existing and proposed | Council waste/recycling centre and depot | N/A |

| | |
|-------------------------------|--|
| Representation summary | Letters were sent to neighbouring residents on the 13 th February 2024. No representations were received in response. |
|-------------------------------|--|

1. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- **The proposal would provide improved weighbridge equipment to support the existing operation/efficiency of the waste/recycling depot**
- **There are no technical objections with regards to highways and drainage matters**
- **While the development would be close to an existing culverted river and Thames Water assets/easements, no objections are raised by the Environment Agency or Thames Water**
- **The weighbridges and kiosk would be sited sensitively within the large existing site, and would have no significant impact on residential amenity**
- **The design of the kiosk is consistent with the function and character of the site – the proposal would not have a detrimental impact on visual amenity**

2. LOCATION

- 2.1 The application site lies within the wider site of the Bromley Central Depot and approx. 125 m from the end of Baths Road, accessed via the internal route through the site used by refuse lorries.

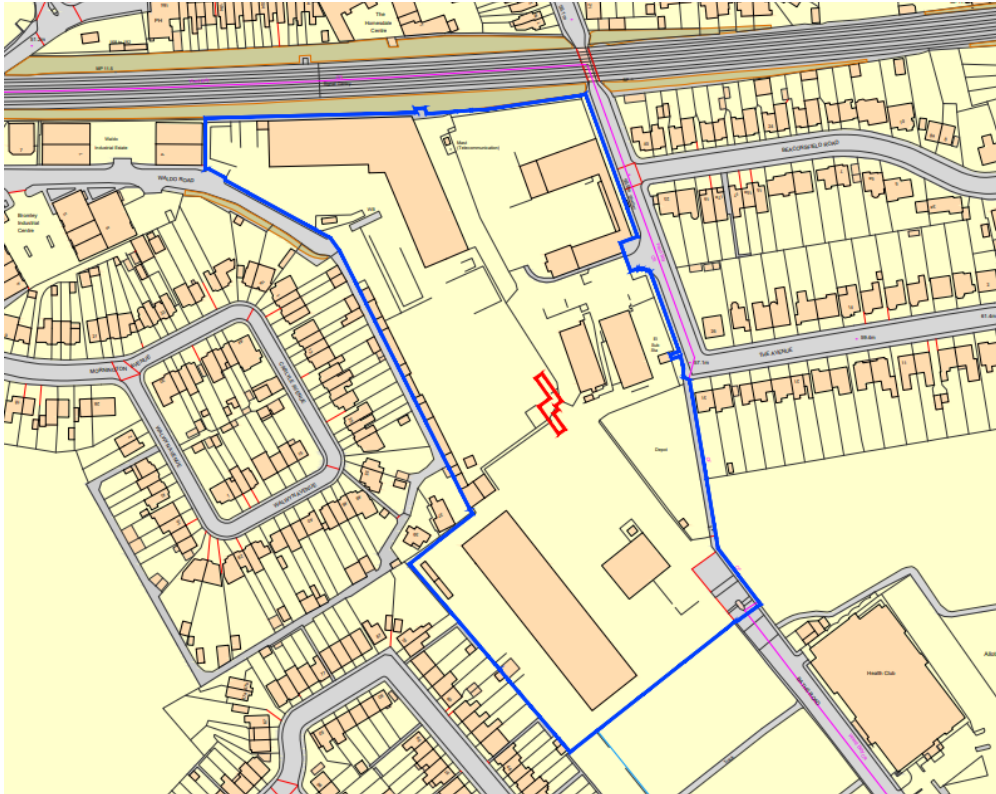


Figure 1 Site location plan - position of weighbridges outlined in red



Figure 2 – Aerial view of site



Figure 3 – photo from site towards Baths Road

2.2 The application site lies within the Bromley Common Renewal Area, and comprises a designated Waste Site. It comprises an Historic Landfill Site, has a Public Transport Accessibility Level of 1b and lies within Flood Zones 2 and 3. The wider site is bisected by a culverted river, and the site lies within a Ground Source Protection Zone.

3. PROPOSAL

- 3.1 It is proposed to install 2 no. new weighbridges with a surface-mounted operations kiosk.
- 3.2 The weighbridges would be off-set from each other, positioned centrally within the wider blue line site in the ownership of the London Borough of Bromley.



Figure 4 – Detailed siting of weighbridges and kiosk



Figure 5 – Aerial image of site

- 3.2 The proposed kiosk would be finished in flat steel insulated panels, painted moss green (RAL 6005).



Figure 6 – Example image of kiosk-type (from site in Southend)

- 3.3 The weighbridges would be built into the ground, with a slightly raised platform in the centre, upon which the kiosk would be sited, as shown in Figure 7 below.

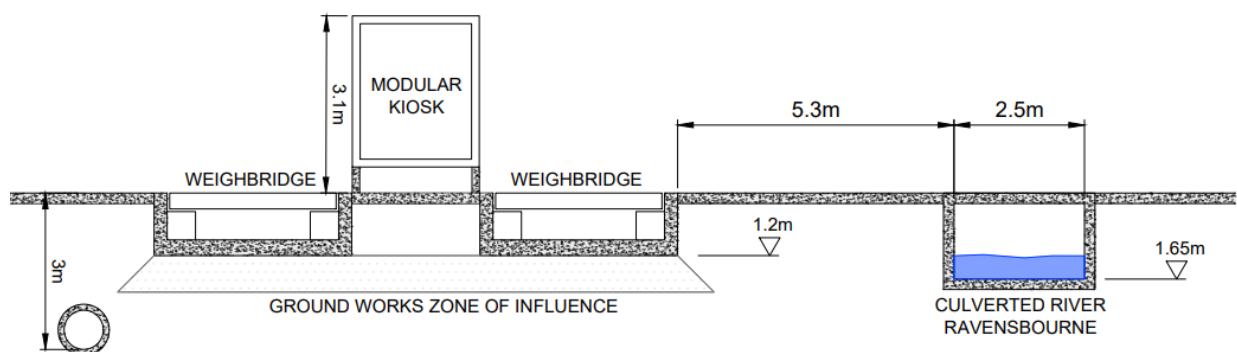


Figure 6 – section through kiosk and weighbridges (shows foul sewer on left, and culverted river on right)

4. RELEVANT PLANNING HISTORY

88/04397/LBB - Alteration to layout of solid waste transfer station including additional floodlighting the replacement of an existing office with a portakabin the installation of rail – Permitted

90/02780/LBB - Enclosure of refuse transfer operation and environmental improvements – Permitted

01/00544/DEEM3 - Vertical composting unit on concrete bund (CIVIC AMENITY SITE) – Permitted

19/00437/FULL1 - Demolition of existing single storey outbuildings and strengthening works to existing retaining wall including partial replacement and repairs – Permitted

24/00182/FULL1 - Erection of a fire suppression tank and pump house along with associated drainage works, replacement/repair of slab, push walls, weighbridge and other works associated with improvement of existing waste transfer station including fencing. Pending Consideration

5. CONSULTATION SUMMARY

A) Statutory

Environment Agency: **No objection**

No objections are raised subject to conditions on any planning permission – relating to the minimum offset from the main river (5.3m) and with regards to contamination, should any previously unidentified contamination source be found in the course of the implementation of the proposal.

Thames Water: **No objection**

Initial comments requested greater detail on the siting of the proposed development, including the depth of excavation, relative to the location of the Thames Water foul sewer running across the site. This information was provided, and Thames Water confirmed that there are no objections to the proposals.

Network Rail: **No objection**

B) Local Groups

None.

C) Adjoining Occupiers

None.

6. POLICIES AND GUIDANCE

National Planning Policy Framework December 2023

NPPG

The London Plan

D3 Optimising site potential through the design-led approach
D11 Safety, security and resilience to emergency
D14 Noise
SI 1 Improving air quality
SI 5 Water infrastructure
SI 9 Safeguarded waste sites
SI 12 Flood risk management
SI 13 Sustainable drainage
SI 17 Protecting and enhancing London's waterways
T1 Strategic approach to transport
T2 Healthy Streets
T4 Assessing and mitigating transport impacts
T7 Deliveries, servicing and construction

Bromley Local Plan 2019

32 Road Safety
37 General Design of Development
114 New Waste Management Facilities and Extensions and Alterations to Existing Sites
115 Reducing Flood Risk
116 Sustainable Urban Drainage Systems (SUDS)
117 Water and Wastewater Infrastructure
118 Contaminated Land
119 Noise Pollution
120 Air Quality
123 Sustainable Design and Construction
124 Carbon Reduction, Decentralised Energy Networks and Renewable Energy
125 Delivery and Implementation of the Local Plan

Supplementary Planning Guidance

Urban Design Guide (Bromley, 2023)

7. ASSESSMENT

7.1 Land Use - ACCEPTABLE

- 7.1.1 The proposal would provide enhanced facilities associated with the operation of the wider waste/recycling facility. The provision of accurate and efficient weighbridges is core to the operational transfer of waste.
- 7.1.2 Policy 114 of the Bromley Local Plan relates to extensions and alterations to existing waste management facilities. It states that new or extended/altered facilities must demonstrate that they will not undermine the local waste planning strategy and will help the Borough move up the waste hierarchy.
- 7.1.3 London Plan Policy SI 8 (Waste capacity and net waste self-sufficiency) relates principally, in terms of the assessment of planning applications, to proposals for new waste sites and/or increased capacity of existing waste sites. Policy SI 9 relates to safeguarded waste sites and states that existing waste sites should be safeguarded and retained in waste management use. The intention of the application proposals is to improve the existing operation of the site.

7.2 Design, scale and layout - ACCEPTABLE

- 7.2.1 The NPPF states that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 7.2.2 London Plan and Bromley Local Plan policies further reinforce the principles of the NPPF setting out a clear rationale for high quality design. Policy D3 of the London Plan states that all development must make the best use of land by following a design-led approach that optimises the capacity of sites. Form and layout should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape. The quality and character shall respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character. locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character.
- 7.2.3 The proposed works would be sited well within the site, a significant distance from public vantage points, and within an established waste site. In this context, the pre-fabricated and functional kiosk design, which would be the most immediately appreciable part of the development proposed within this application, would be of an appearance consistent with the function and visual amenities of the site. It would not appear incongruous or out of character with the site or its surroundings.

7.3 Neighbouring amenity - ACCEPTABLE

- 7.3.1 Policy 37 of the Bromley Local Plan seeks to protect existing residential occupiers from inappropriate development. Issues to consider are the impact of a development proposal upon neighbouring properties by way of overshadowing, loss of light, overbearing impact, overlooking, loss of privacy and general noise and disturbance.
- 7.3.2 The proposal would not increase the intensity of the use of the site, with any attendant potential for an increase in operational noise and disturbance. It would provide the facility for weighing of loads associated with the existing site activities. The kiosk is small scale and sited, along with the weighbridges, a considerable distance from the nearest neighbouring residential properties.

7.4 Transport and Highways - ACCEPTABLE

- 7.4.1 The proposed weighbridges would be functionally associated with the existing operation of the site as a waste site, and would not result in increased comings and goings to and from the site. The internal routes through the depot/re-use and recycling point and waste transfer site are regulated by the operator, and other than the public reuse and recycling part of the site (accessed from Waldo Road) there is no public access to the wider site, including the location of this specific development. Access from Baths Road is controlled. No highways objections have been raised in respect of the proposals.

7.5 Flooding and Drainage - ACCEPTABLE

- 7.5.1 The National Planning Policy Framework states that inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk, and where development is necessary, by making it safe without increasing flood risk elsewhere. The Technical Guidance published alongside the Framework details that for these purposes, areas at risk of flooding constitute land within Flood Zones 2 and 3.
- 7.5.2 The application has been submitted with a Flood Risk Assessment which includes reference to the Sequential Test, noting that the proposal is for minor changes to an existing site, where there are not considered to be any reasonably available alternative sites within Flood Zones 1 and 2. This rationale is accepted, in view of the integral relationship between the development proposed (the weighbridges and kiosk) and the wider, longstanding and established use of the site as a Council depot, waste transfer and household re-use and recycling centre. It is stated that it is more practical and sustainable from a wider planning perspective to keep the site in its current location, and enhance those existing facilities, rather than to move the facilities elsewhere, noting that the site would not be useful for redevelopment due to the flood risk of the site.
- 7.5.3 The FRA addresses the development the subject of this specific application, as well as the separate application which includes the installation of a fire suppression tank and improvements/alterations to the "hangars" where refuse is sorted. The document refers to the course of the River Ravensbourne, and the general byelaw distance of

8m from the watercourse which may be imposed for new structures by the Environment Agency.

- 7.5.4 With regards to the vulnerability of this specific development to flooding, the use of the site would be considered “less vulnerable” and the development is designed with flood-resilient features including the elevation of the kiosk on a 0.6m plinth. In the event of a flood, the weighbridge pits would fill with water and the blockwork base of the kiosk would also fill with floodwater – limiting the impact of the development with regards to increasing flood risk elsewhere.
- 7.5.4 Comments were sought from the Environment Agency and from Thames Water.
- 7.5.5 Following the submission of greater detail on the foundation/excavation works required, no objections are raised by Thames Water.
- 7.5.6 With regards to the impact of the proposal on the culverted river, flood risk and the ground water protection zone, the Environment Agency has raised no objections to the proposals. The distance of the proposed development from the culvert would be minimum 5.3m which falls short of the typical expectation that an 8m offset be provided. However, the EA has confirmed that a pragmatic approach should be adopted in view of the specific development providing a betterment to the existing offset.
- 7.5.7 With regards to the risks posed to controlled waters, the Environment Agency flags that the existing and ongoing use of the site as a waste transfer station poses a risk to controlled waters, especially in view to the location within a Source Protection Zone 3. A planning condition is therefore recommended should planning permission be granted which would relate to the discovery of any unexpected contamination on site.
- 7.5.8 The Council’s Drainage Officer has confirmed that they have no objection to the proposals.

8. CONCLUSION

- 8.1 The proposal would have no significant impact on neighbouring residential amenity, nor on the visual amenities or character of the site and surroundings.
- 8.2 Subject to conditions, there are no objections to the proposals from the perspective of the Environment Agency and Thames Water. It is not considered that the proposal would give rise to increased risk of flooding, damage to the culverted watercourse, or prejudice Thames Water assets/easements.
- 8.3 The proposed weighbridges would enhance the operational efficiency of the application site, which is a designated waste transfer site.
- 8.4 It is recommended that planning permission be granted.

RECOMMENDATION: Application Permitted

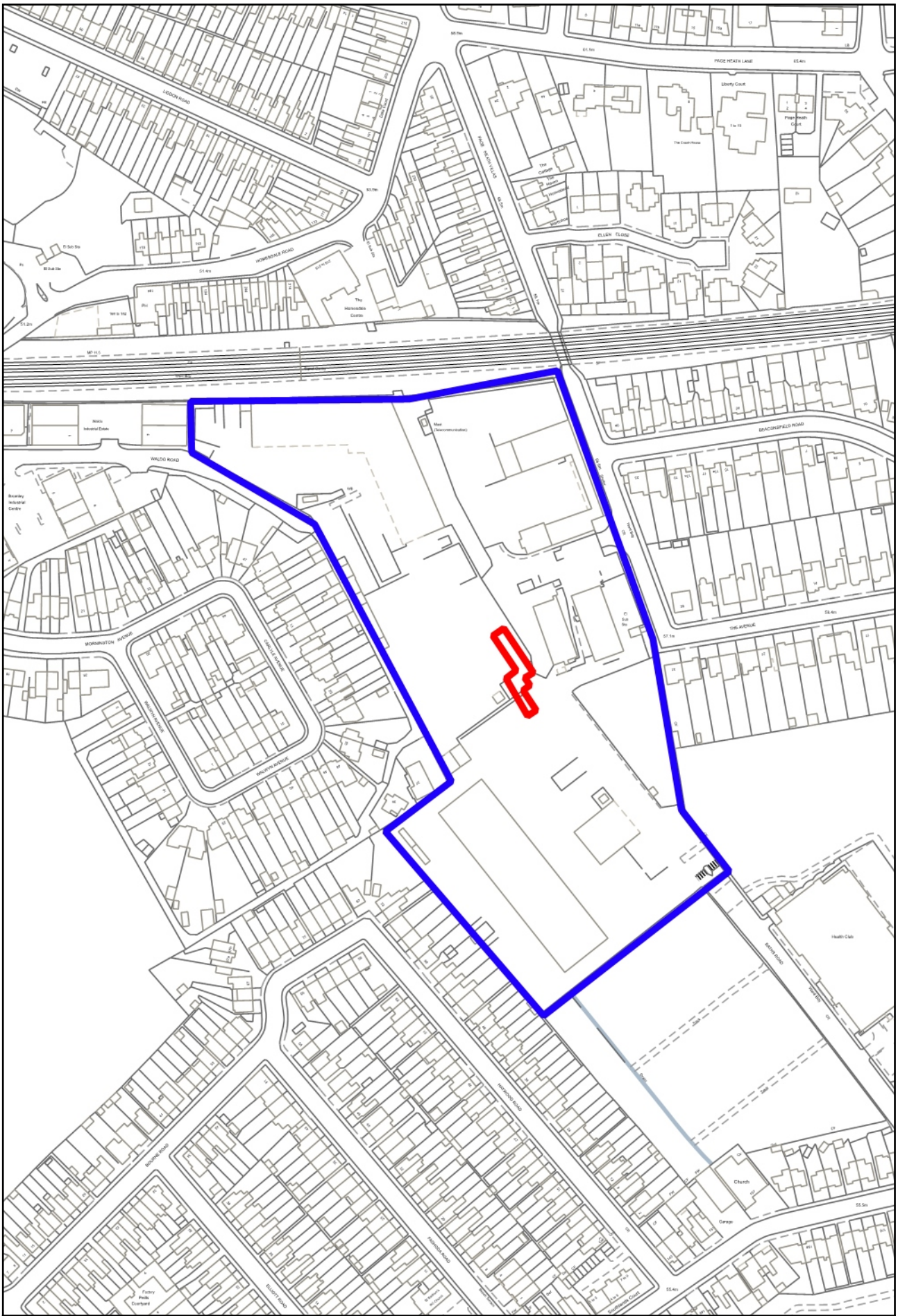
Subject to the following conditions:

- 1. Time limit**
- 2. Compliance with approved plans**
- 3. Offset from main river – 5.3m**
- 4. Measures to deal with any unexpected contamination**


And delegated authority be given to the Assistant Director: Planning & Building Control to make variations to the conditions and to add any other planning condition(s) as considered necessary.

Informatives

- 1. Thames Water (contact Asset Protection team to discuss loading calculations)**
- 2. Environment Agency (Flood Risk Activity Permit)**



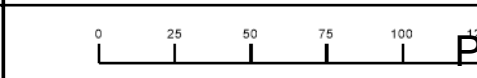
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 24/00343/FULL1



10 April 2024

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| | | |
|--|--|---|
| Committee Date | 18.04.2024 | |
| Address | The Bungalow Hayes Mead Road Bromley BR2 7HR | |
| Application Number | 24/00512/FULL6 | Officer - Gary Wong |
| Ward | Hayes and Coney Hall | |
| Proposal | Proposed single storey front extension with new porch and part side extension and conversion of existing garage to habitable accommodation, single storey rear extension, loft conversion with rear dormer, roof alterations to form crown roof feature and roof lights. | |
| Applicant | Agent | |
| Mr Hasmukh Taank | Mr A Martin | |
| The Bungalow Hayes Mead Road Hayes Bromley BR2 7HR | Crown House Home Gardens Dartford DA1 1DZ | |
| Reason for referral to committee | Councillor call in | |
| | Cllr. Call-in | Yes (Cllr. Alexa Michael) – would like this application comes to PSC for a members’ decision in view of neighbour’s concerns. |

| | |
|-----------------------|------------|
| RECOMMENDATION | PERMISSION |
|-----------------------|------------|

| |
|--|
| KEY DESIGNATIONS |
| Article 4 Direction Biggin Hill Safeguarding Area London City Airport Safeguarding Open Space Deficiency Smoke Control SCA 2 |

| | | |
|-------------------------|------------------------------|-----------------------|
| Land use Details | | |
| | Use Class or Use description | Floor space (GIA SQM) |

| | | |
|-----------------------|---------------------|--|
| Existing and proposed | C3 – Dwellinghouses | 80.7 sqm GIA to be added to the development. |
|-----------------------|---------------------|--|

| | |
|-------------------------------|--|
| Representation summary | <ul style="list-style-type: none"> • Neighbour notification letters were sent on the 12th February 2024. |
| Total number of responses | 2 |
| Number in support | 0 |
| Number of objections | 2 |

1. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- **The proposed single storey front extension with new porch, single storey rear extension and part side extensions are of reasonable scale and would not have a detrimental visual impact to the appearance of the main dwelling or the character of the surrounding area in general.**
- **The proposed roof alterations to form a crown roof feature and rooflights would not result in any significant harm on visual amenities.**
- **The proposed loft conversion with rear dormer would not result in undue loss of privacy to the surrounding neighbours.**
- **No objection from Highways to the proposed garage conversion.**

2. LOCATION

- 2.1 The application site hosts a detached bungalow on the northeastern side of Hayes Mead Road, Bromley. The property is not listed nor within any area of special designation. Hayes Mead Road is a residential cul-de-sac and is characterised with a mix of two-storey detached dwellings and bungalows.



Figure 1 Site location plan - position of application property outlined in red



Figure 2 – Aerial view of site



Figure 3 – photo of the site viewing from Hayes Mead Road

3. PROPOSAL

- 3.1 The proposal is for single storey front extension with new porch and part side extension and conversion of existing garage to habitable accommodation, single storey rear extension, loft conversion with rear dormer, roof alterations to form crown roof feature and roof lights.

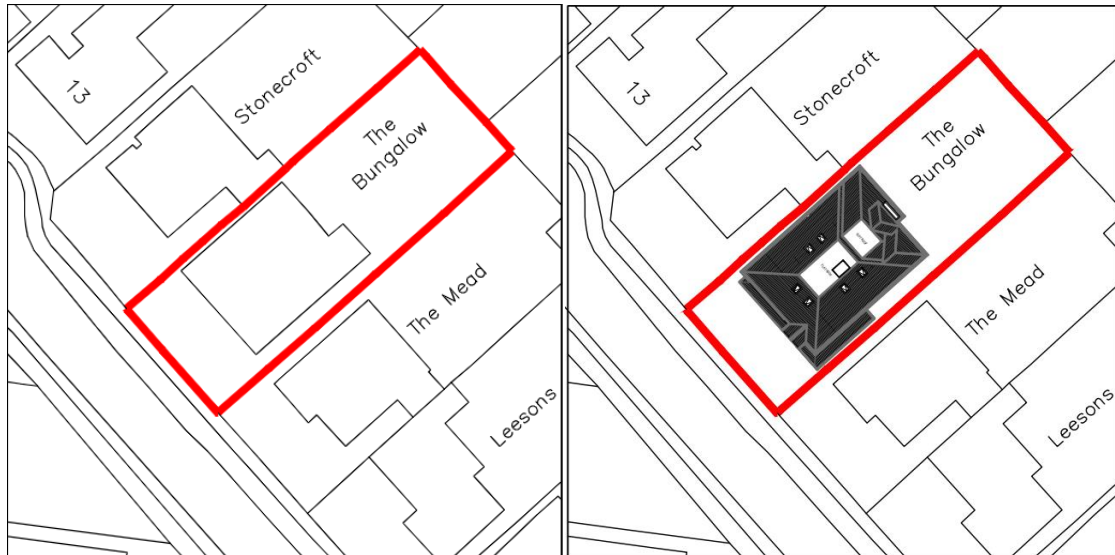


Figure 4 & 5 – Existing (left) and Proposed (right) block plan

- 3.2 The proposed single storey front extension and the new front porch would be approx. 0.9m in depth and 2.7m in width each. The proposed part side extension would be approx. 1.55m in width and 6.95m in depth. They would share a pitched roof with a maximum height of approx. 3.33m and an eaves height of approx. 2.65m. The new front porch would have a gable feature within its dual-pitched roof with a maximum height of approx. 3.74m.
- 3.3 The proposed single storey rear extension would extend for approx. 3m from the rear of the main dwelling and have a width of approx. 7.38m. It would have a pitched roof extending from the proposed roof alterations to the main roof with an eaves height of approx. 2.91m. Double glazed sliding doors and a window to rear garden are shown on the drawings.
- 3.4 The proposed garage conversion would turn the existing space and the new space created by the part side extension into a foyer with a toilet and a landing to upstairs. A front window and a rear window are shown on the drawings.

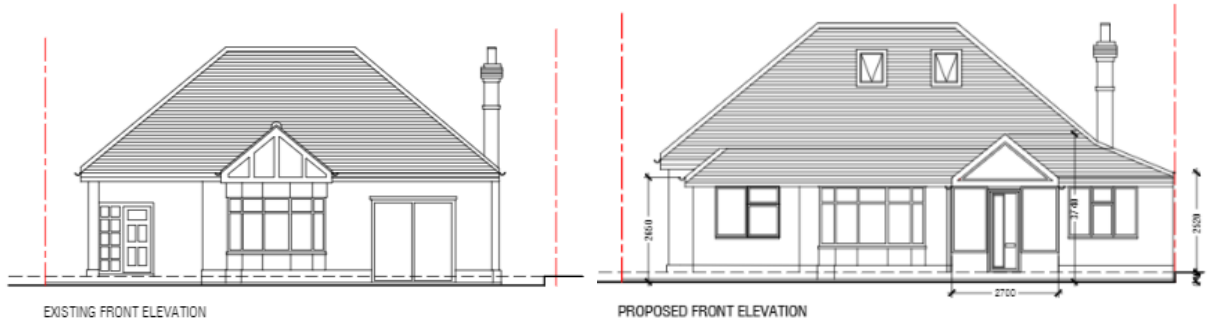


Figure 6 & 7 – Existing (left) and Proposed (right) front elevation

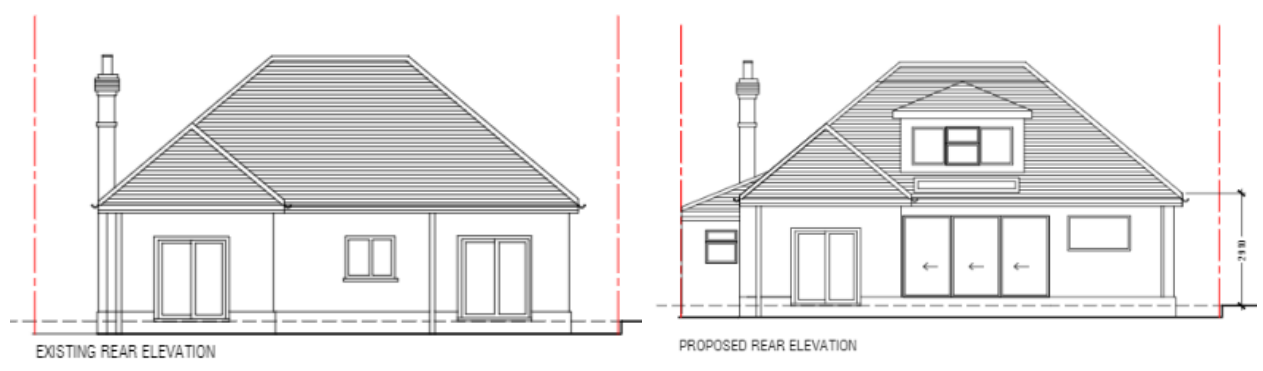


Figure 8 & 9 – Existing (left) and Proposed (right) rear elevation



Figure 10 & 11 – Existing (left) and Proposed (right) side elevations

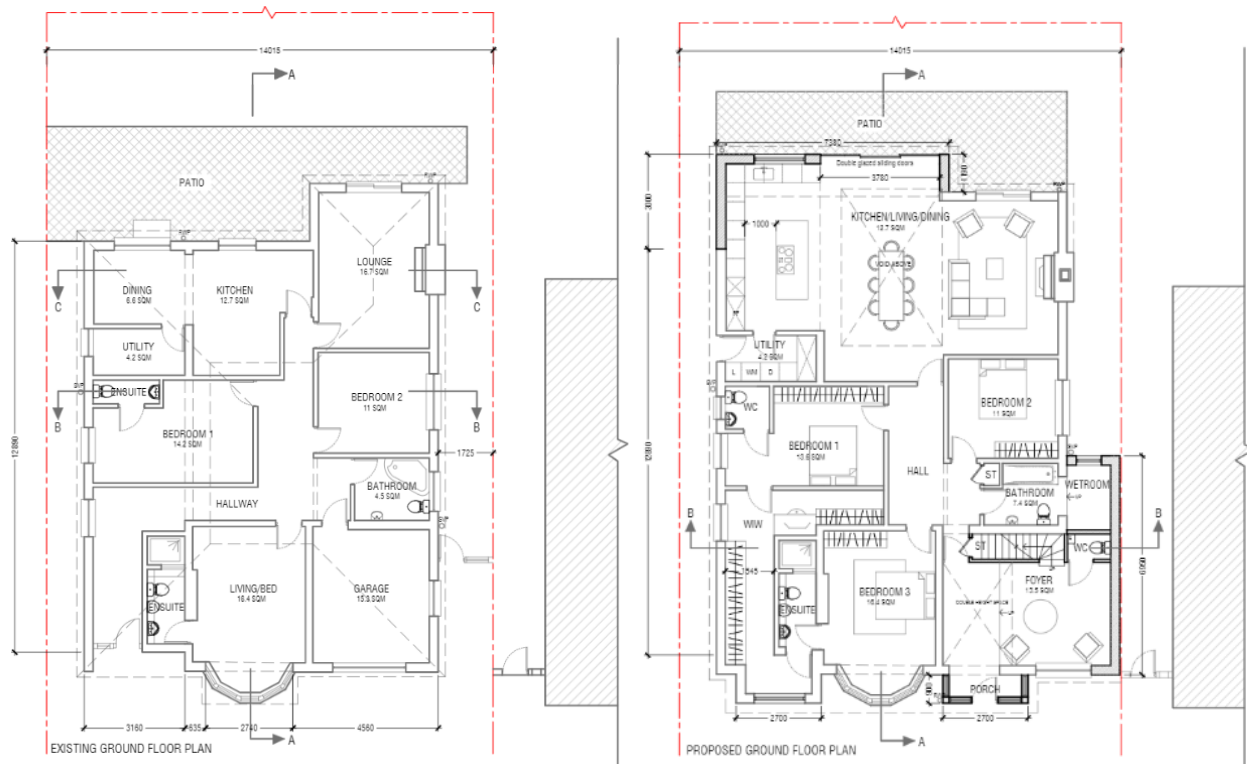


Figure 12 & 13 – Existing (left) and Proposed (right) ground floor plan

3.5 The proposed loft conversion with rear dormer, roof alterations to form crown roof feature and insertion of rooflights are shown in figures 8-11 and 14-16.

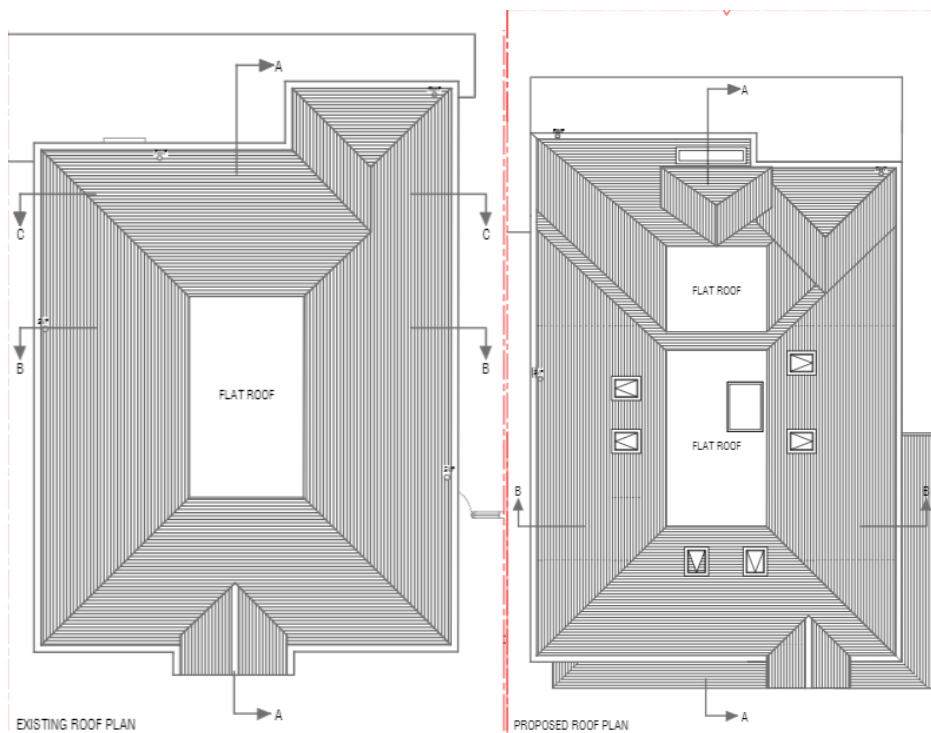


Figure 14 & 15 – Existing (left) and Proposed (right) roof plan

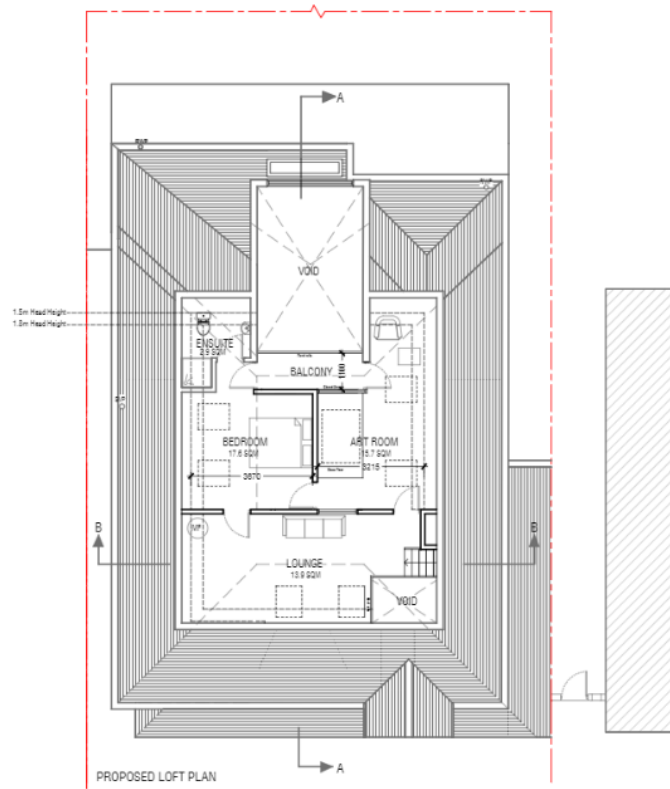


Figure 16 – Proposed loft plan

4. RELEVANT PLANNING HISTORY

99/00450/FULL1 - Single storey side extension – Permitted

23/00790/FULL6 - Single storey front and side extension with new porch and conversion of existing garage to habitable accommodation, single storey rear extension, loft conversion with front dormer, roof alteration to form rear gable end feature, solar panels, rooflights and lantern roof light. – Refused

5. CONSULTATION SUMMARY

A) Statutory

Highways: **No objection**

The proposed development involves converting an existing garage into a habitable accommodation which would result in the loss of one parking space. However, there are available spaces within the site's curtilage that can be utilised for parking. Given that this is a small development, no objections are raised from a highways' perspective.

B) Local Groups

None.

C) Adjoining Occupiers

The following representations were received and are summarised as follows:

Character of the area (addressed in paragraphs 7.2)

- Main objection relates to the first floor or loft plan level of the proposed rear elevation

Neighbouring amenity (addressed in paragraphs 7.3)

- Although there is a distant view from the internal balcony but this void could be enclosed in the future and converted to a habitable room
- The proposed high level window would provide the opportunity to overlook neighbouring rear gardens and internal living spaces
- Image 3 in the Design and Access Statement was presumably taken with a convex lens gives the appearance of a long garden and the description beneath says 'Reasonable distance from the back of the property to neighbours.' However, if the back of the house is allowed to extend as requested and our concerns about the window noted above are not addressed, the distance between us would not be reasonable.

6. POLICIES AND GUIDANCE

National Planning Policy Framework December 2023

NPPG

The London Plan

- D1 London's form, character and capacity for growth
- D3 Optimising site potential through the design led approach
- D4 Delivering Good Design

Bromley Local Plan 2019

- 6 Residential Extensions
- 37 General Design of Development

Supplementary Planning Guidance

Urban Design Supplementary Planning Document (July 2023)

7. ASSESSMENT

7.1 Resubmission

7.1.1 The current application is a resubmission of application ref. 23/00790/FULL6 which was refused for the following reason:

The proposed extensions and roof alterations, by reason of their bulk, siting and design, would not respect or complement the scale, form and proportion of the host dwelling and would create an incongruous feature within the street scene generally; thereby contrary to Policies 6 and 37 of the Bromley Local Plan.

7.1.2 The main changes between the previous application refused in June 2023 and the current application ref. 24/00512/FULL6 are set out as follows:

- Removal of front dormer
- Removal of solar panels
- Removal of a second front bay window on ground floor and as a result the width of the proposed new front porch would increase from approx. 1.85m to 2.7m.
- Design change to proposed roof alterations from a rear gable end feature to a crown roof feature which would set below the main roof ridge by approx. 0.5m. A rear dormer is proposed sitting on the extended rear roof slope.
- Replacing the lantern roof light by a flat roof light
- Reduced width of the single storey rear extension from approx. 11.06m to 7.38m

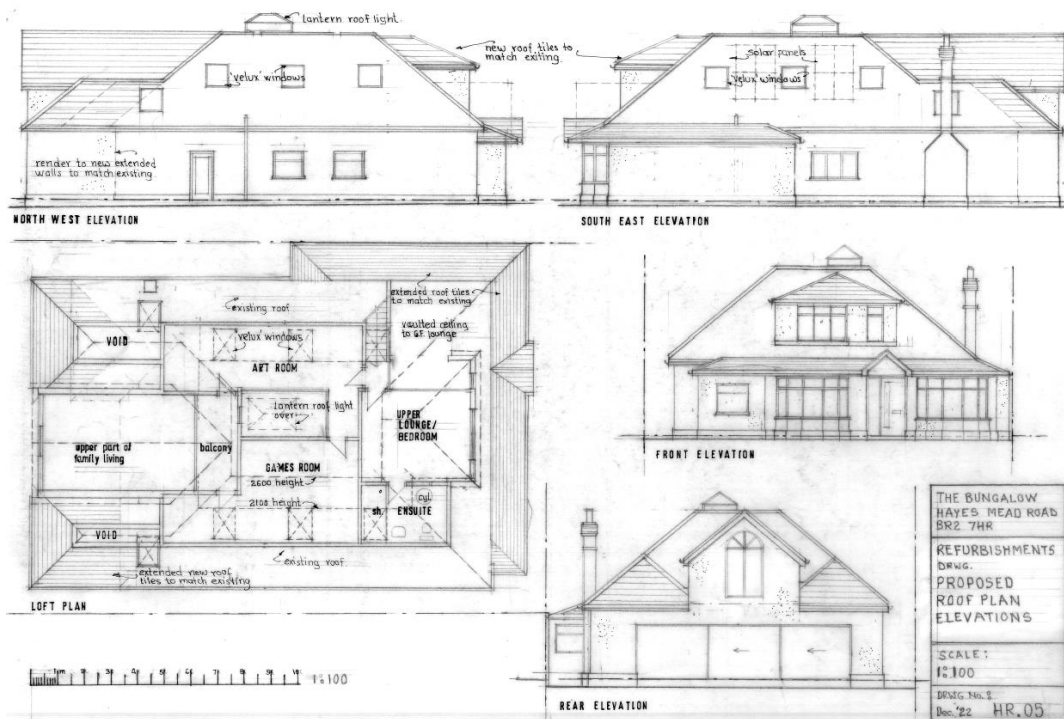


Figure 17 – Elevations and loft plan of previously refused application (ref. 23/00790/FULL6)

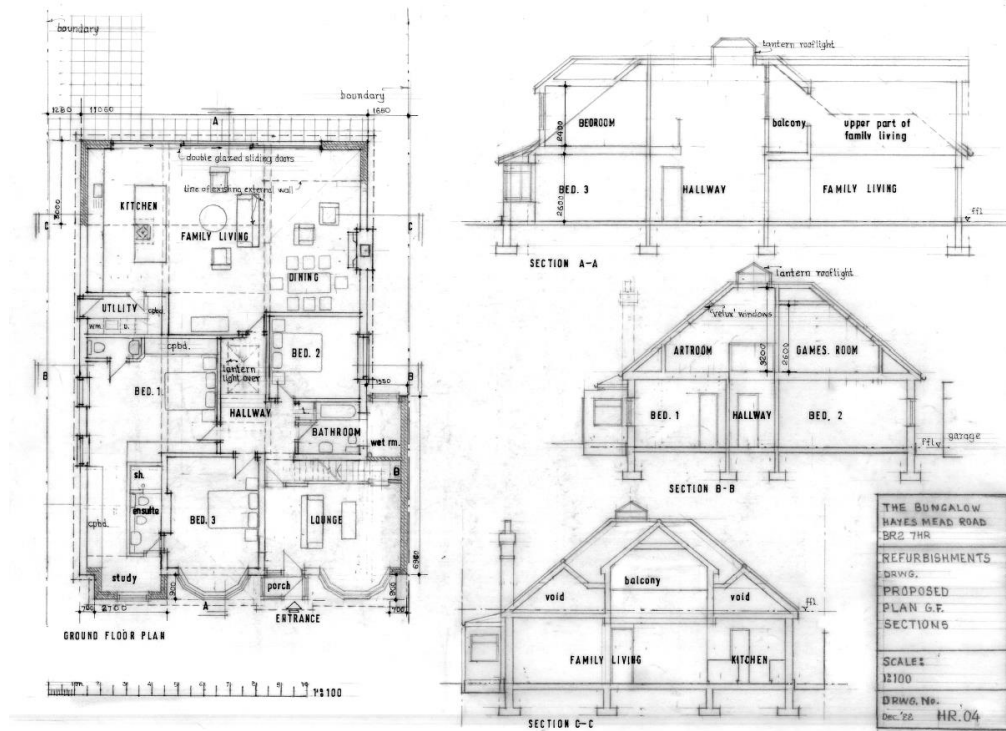


Figure 18 – Ground floor plan and sections of previously refused application (ref. 23/00790/FULL6)

7.2 Design, scale and layout - ACCEPTABLE

7.2.1 The NPPF states that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

7.2.2 London Plan and Bromley Local Plan policies further reinforce the principles of the NPPF setting out a clear rationale for high quality design. Policy D3 of the London Plan states that all development must make the best use of land by following a design-led approach that optimises the capacity of sites. Form and layout should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape. The quality and character shall respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character. locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character.

7.2.3 Policies 6 and 37 of the Bromley Local Plan (BLP) and the Council's Supplementary design guidance seek to ensure that new development, including residential extensions are of a high quality design that respect the scale and form of the host dwelling and are compatible with surrounding development. Policy DG5 of the Urban Design Guide SPD (2023) states that extensions and alterations to existing dwellings should respond to character (by adopting an appropriate design approach) and

appear subservient in scale to avoid uncharacteristically large additions which can significantly change the appearance of a property and have a detrimental impact on character and amenity. Careful consideration should be given to form, fenestration, materials and detailing.

- 7.2.4 At ground floor level this re-submitted scheme would have the proposed second front bay window removed. Although the proposed new front porch would have an increase in width by approx. 0.85m, the proposed depth (approx. 0.9m) of it and the single storey front extension is considered modest and would not extend beyond the existing front elevation with the front bay window. The proposed scale of the part side extension would remain the same as last application. The host dwelling is surrounded by an eclectic mix of housing styles and sizes and many of which have been extended and remodelled such as "Hillyfields" (No.11) and "The Mead". Although this mix is not defined by any particular character, the properties along Hayes Mead Road do share certain characteristics such as a hipped main roof design. Whilst the existing front gable feature would be repositioned slightly to the right of the front elevation, it is not considered to cause significant visual impact to the main dwelling or street scene with the modest projection and sympathetic design with a hipped roof.
- 7.2.5 The proposed depth of the single storey rear extension would remain at approx. 3m but the width of it would be reduced by approx. 3.68m. The reduction in bulk at rear is considered acceptable and its overall subservience would not cause any harmful visual impact to the main dwelling or street scene.
- 7.2.6 At first floor/ loft level, this resubmission would remove the front dormer and replace the rear gable end feature by a rear dormer. The overall bulk at this level would be significantly reduced from the last refusal. The proposed roof alterations would extend approx. 7.54m from the main roof ridge to form a rear gable end feature while total depth of the proposed roof alterations would reduce by approx. 1.92m to 5.62m when compared to the recently refused scheme. The proposed crown roof would extend approx. 2.67m further from the rear main roof and set below the main roof ridge by approx. 0.5m. The size of the proposed rear dormer is considered modest (approx. dimension D.2.83m x W3.2m x H2.43m) and would be set below the main roof ridge by approx. 0.5m and set in from the eaves by approx. 0.99m. Overall, having regard to the significant reduction in bulk at roof level and its siting at rear main roof slope, the proposed roof alterations are considered acceptable and would now appear subservient to the host dwelling and sympathetic to the existing roof form.
- 7.2.7 Other proposed alterations at roof level would include the insertion of seven roof lights as shown in the proposed roof plan (figure 15 above). This resubmission would see the previously proposed lantern rooflight replaced by a flat rooflight. This replacement is considered acceptable and would not be unduly prominent when viewed from the street. Similar rooflights on main roof slope are common along Hayes Mead Road and therefore, they are considered acceptable addition and would not cause visual harm to the main dwelling or the surrounding area.
- 7.2.8 Overall, this resubmission is considered acceptable and would be able to overcome the previous reason for refusal under application ref. 23/00790/FULL6.

7.3 Neighbouring amenity - ACCEPTABLE

- 7.3.1 Policy 37 of the Bromley Local Plan seeks to protect existing residential occupiers from inappropriate development. Issues to consider are the impact of a development proposal upon neighbouring properties by way of overshadowing, loss of light, overbearing impact, overlooking, loss of privacy and general noise and disturbance.
- 7.3.2 Neighbouring objections were received regarding potential overlooking and loss of privacy resulting from the proposed rear dormer. It is observed during site visit at the application property and the neighbouring property at No.19 Pondfield Road that both sites benefit from generous size of rear gardens. Scaling from submitted site location plan (figure 1 above), it is measured that the application property enjoys a rear garden approx. 19.37m in length while No.19 Pondfield Road enjoys one approx. 17.25m in length. Whilst the application property and some of the opposite neighbours along Pondfield Road are bungalows, there are also some two-storey properties along Hayes Mead such as Hillyfields (No.11) and The Mead which have already caused a certain degree of overlooking from their first floor rear windows to properties along Pondfield Road.



Figure 19 – Photo of the application property’s rear garden taken during site visit



Figure 20 – Photo of No.19 Pondfield Road’s rear garden (neighbour directly opposite to the application property) taken during site visit



Figure 21 – Photo of The Mead (two-storey property adjacent to application property)



Figure 22 – Photo of Hillyfields (No.11 Hayes Mead Road)

7.3.3 Submitted plans show a void space at first floor/ loft level with approx. 1.5m & 1.8m head height between the rear dormer window and an inner balcony area with handrails. Scaling from the submitted proposed loft plan the void space would be approx. 5.21m in depth. As such there would be a considerable distance from the nearest functionable space to this rear dormer window which would allow for direct views from this window. Whilst it is currently shown as a void space, this would not prohibit any future alterations. Nevertheless, a rear dormer window is not uncommon in a residential setting such as this. As such, having regard to the separation distance, the siting and the existing degree of overlooking of the nearby properties, it is considered that the proposed rear dormer would not lead to harmful increase in overlooking and loss of privacy to the occupiers of neighbouring properties.

7.3.4 Other elements in the proposal including the single storey front extension with new porch, part side ground floor side extension and single storey rear extension are considered acceptable given their modest scale. As such it is not considered these would cause any undue loss of amenity to the neighbouring properties.

7.4 Highways - ACCEPTABLE

7.4.1 The proposed garage conversion would remain the same as last refused application. It would turn the existing space into a foyer. Whilst the garage conversion would result in the loss of one parking space, there are spaces available within the site's curtilage which could be utilised for parking. No highways objections have been raised in respect of the proposals.

8. CONCLUSION

8.1 Having regard to the above, this resubmission would have significant reduction in scale and bulk at roof level to sufficiently overcome the previous reason for refusal ref. 23/00790/FULL6 and as such it is considered that the development in the manner proposed is acceptable in that it would not result in a significant impact on the character and appearance of the surrounding area or not harm the amenities of neighbouring residential properties.

8.2 Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

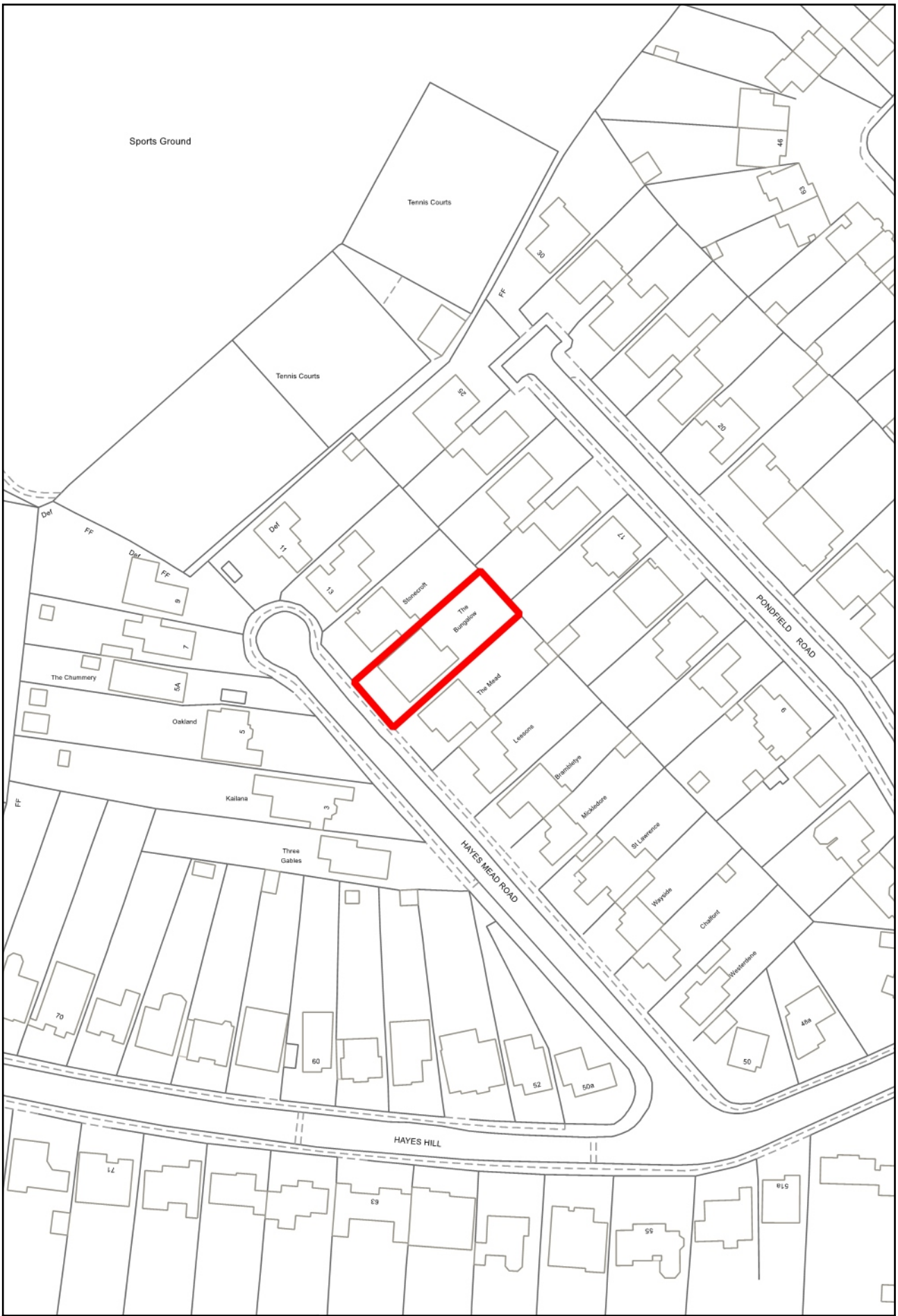
RECOMMENDATION: Application Permitted

Subject to the following conditions:


- 1. Standard time limit**
- 2. Standard compliance with approved plans**
- 3. Materials in accordance with approved plans**

And delegated authority be given to the Assistant Director: Planning & Building Control to make variations to the conditions and to add any other planning condition(s) as considered necessary.

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